

ROCKWALL CITY COUNCIL REGULAR MEETING

Monday, July 19, 2021 - 4:00 PM

City Hall Council Chambers - 385 Goliad St., Rockwall, TX 75087

I. Call Public Meeting to Order

II. Work Session

1. Hold work session with Clark Staggs to hear proposal related to hangar development on property located east of the Ralph M. Hall / Rockwall Municipal Airport

III. Executive Session.

The City of Rockwall City Council will Recess into Executive Session to discuss the following matter as authorized by Chapter 551 of the Texas Government Code:

1. Discussion regarding the appointment/employment process for the position of City Manager, pursuant to Section 551.074 (Personnel Matters) and 551.071 (Consultation with Attorney).

IV. Adjourn Executive Session

V. Reconvene Public Meeting (6:00 P.M.)

VI. Invocation and Pledge of Allegiance - Councilmember Jorif

VII. Open Forum

This is a time for anyone to address the Council and public on any topic not already listed on the agenda or set for a public hearing. Per Council policy, public comments should be limited to three minutes out of respect for other citizens' time. If you have a topic that warrants longer time, please contact the City Secretary at kcole@rockwall.com to be placed on the Agenda during the 'Appointment Items' portion of the meeting. This will allow your topic to be provided sufficient time for discussion and will permit proper notice to be given to the public. On topics raised during Open Forum, please know Council is not permitted to respond to your comments during the meeting since the topic has not been specifically listed on the agenda (the Texas Open Meetings Act requires that topics of discussion/deliberation be posted on an agenda not less than 72 hours in advance of the Council meeting). This, in part, is so that other citizens who may have the same concern may also be involved in the discussion. If you'd like to speak, please fill out and submit to the City Secretary a 'Request to Address City Council' form prior to the start of the meeting.

VIII. Take any Action as a Result of Executive Session

IX. Consent Agenda

These agenda items are routine/administrative in nature, have previously been discussed at a prior City Council meeting, and/or they do not warrant Council deliberation. If you would like to discuss one of these items, please turn in a 'Request to Address City Council' form to the City Secretary before the meeting starts and then speak about a 'Consent Agenda' item(s) during 'Open Forum.'

1. Consider approval of the minutes from the July 6, 2021 regular city council meeting, and take any action necessary.
2. **P2021-033** - Consider a request by Aaron Selden for the approval of a *Final Plat* for Lots 1 & 2, Block A, Aaron Selden Addition being a 5.74-acre tract of land identified as Tracts 5-05, 5-06, & 5-12 of the J. Simmons Survey, Abstract No. 190, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 260 Anna Cade Road, and take any action necessary.

3. **P2021-036** - Consider a request by Bart Carroll for the approval of a *Preliminary Plat* for Phase 2 of the Landon Subdivision being a 94.273-acre tract of land identified as a portion of Tract 13 of the S. McFadgin Survey, Abstract No. 142, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at the southwest corner of the intersection of S. Munson Street and Streetman Road, and take any action necessary.

X. Appointment Items

1. Appointment with Planning & Zoning Commission representative to discuss and answer any questions regarding planning-related cases on the agenda.

XI. Public Hearing Items

If you would like to speak regarding an item listed below, please turn in a 'Request to Address City Council' form to the City Secretary before the meeting starts. The Mayor or Mayor Pro Tem will call upon you to come forth at the proper time. Please limit your comments to no more than three minutes.

1. **Z2021-020** - Hold a public hearing to discuss and consider a request by St. Benedict's Anglican Church on behalf of Brett Hall for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing a *House of Worship* on a 7.45-acre tract of land identified as Tract 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, 1500 Sunset Hill Drive, and take any action necessary **(1st Reading)**.
2. **Z2021-021** - Hold a public hearing to discuss and consider a request by Stephen Seitz of Seitz Architects, Inc. on behalf of Jim Vaudagna of the Vault Self-Storage for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing the expansion of an existing *Mini-Warehouse Facility* on a 6.06-acre parcel of land identified as Lot 1, Block C, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1280 E. Ralph Hall Parkway, and take any action necessary **(1st Reading)**.
3. **Z2021-022** - Hold a public hearing to discuss and consider a request by Ignacio Cardenas for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing *Residential Infill in an Established Subdivision* on a 0.158-acre parcel of land identified as Lot 810-A0 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 147 Eva Place, and take any action necessary **(1st Reading)**.
4. **Z2021-023** - Hold a public hearing to discuss and consider a request by Don Holamon for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing an *Accessory Building* on a 1.50-acre parcel of land identified as Lot 12, Block A, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 3221 Diamond Way Drive, and take any action necessary **(1st Reading)**.
5. **Z2021-024** - Hold a public hearing to discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Kris Sharp for the approval of an **ordinance** for a *Zoning Change* amending Planned Development District 46 (PD-46) to allow *Warehouse* as a permitted land use on a 1.90-acre parcel of land identified as Lot 5, Block A, Sharp Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, addressed as 3301 Springer Road, and take any action necessary **(1st Reading)**.
6. **Z2021-025** - Hold a public hearing to discuss and consider a request by Kevin Osornio for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing *Residential Infill in an Established Subdivision* on a 0.1650-acre parcel of land identified as Lot 908A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 154 Lynne Drive, and take any action necessary **(1st Reading)**.

7. **Z2021-026** - Hold a public hearing to discuss and consider a request by Troy Lewis of Newstream Capital Partners for the approval of an **ordinance** for a *Zoning Change* to amend Planned Development District 8 (PD-8) [*Ordinance No. 92-39*] for the purpose of allowing townhomes on a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 92-39*] for Zero Lot Line (ZL-5) District land uses, generally located south on the south side of Henry M. Chandler Drive west of Ridge Road [*FM-740*], and take any action necessary **(1st Reading)**.
8. **A2021-004** - Hold a public hearing to discuss and consider the approval of an **ordinance** annexing a 20.83-acre tract of land in accordance with a 212 Development Agreement and identified as Tract 22 of the W. M. Dalton Survey, Abstract No. 72, Rockwall County, Texas, addressed as 427 Clem Road, and take any action necessary **(1st Reading)**.

XII. Action Items

If your comments are regarding an agenda item below, you are asked to submit a 'Request to Address City Council' form before the meeting starts and then speak about any of the following agenda items during the 'Open Forum' portion of the meeting.

1. **Z2021-027** - Discuss and consider approval of an **ordinance** amending Planned Development District 91 (PD-91) [*Ordinance No. 21-17*] to incorporate a 20.83-acre tract of land in accordance with a 212 Development Agreement and identified as Tract 22 of the W. M. Dalton Survey, Abstract No. 72, Rockwall County, Texas, addressed as 427 Clem Road, and take any action necessary **(1st Reading)**.
2. **A2021-005** - Discuss and consider approval of an **ordinance** reducing the City's Extraterritorial Jurisdiction (ETJ) by releasing a 3,475.20-acre tract of land generally located north of the boundary between Rockwall County and Collin County, and take any action necessary **(1st Reading)**.
3. Discuss and consider (re)appointments to non-regulatory city boards and commissions (Historic Preservation Advisory Board, ART Commission, and Comprehensive Plan Advisory Committee), and take any action necessary.

XIII. Executive Session.

The City of Rockwall City Council will Recess into Executive Session to discuss the following matter as authorized by Chapter 551 of the Texas Government Code:

1. Discussion regarding the appointment/employment process for the position of City Manager, pursuant to Section 551.074 (Personnel Matters) and 551.071 (Consultation with Attorney).

XIV. Reconvene Public Meeting & Take Any Action as Result of Executive Session

XV. Adjournment

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 771-7700 or FAX (972) 771-7727 for further information.

The City of Rockwall City Council reserves the right to adjourn into executive session at any time to discuss any of the matters listed on the agenda above, as authorized by Texas Government Code ¶ 551.071 (Consultation with Attorney) ¶ 551.072 (Deliberations about Real Property) ¶ 551.074 (Personnel Matters) and ¶ 551.087 (Economic Development)

I, Kristy Cole, City Secretary for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 16th day of July, 2021 at 4:00 p.m. and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

Kristy Cole, City Secretary
or Margaret Delaney, Asst. to the City Sect.

Date Removed



MEMORANDUM

TO: Mary Smith, Interim City Manager

CC: Honorable Mayor and City Council

FROM: Kristy Cole, City Secretary / Assistant to the City Manager

DATE: July 19, 2021

SUBJECT: WORK SESSION WITH CLARK STAGGS

Attachments

Staggs Presentation Summary

Summary/Background Information

Mr. Staggs has provided the attached summary of his proposed project for Council's information and consideration. He will be present Monday to provide additional details.

Action Needed

n/a

FoxTrot46 Presentation Outline

May 26, 2021

Supply and Demand

Throughout Texas and most of the Nation, at large and small airports, there is a serious shortage of aircraft hangars. When the national and regional economies are growing, people in business discover the many advantages of private aircraft ownership. The same is true for the general public with discretionary income.

Every airport in North Texas, including Rockwall, has a waiting list of aircraft owners asking for a hangar to store his or her plane. Unfortunately, hangars don't become available often, perhaps once in 6 to 9 months.

The traditional way hangars are built and offered to the flying public in Texas is for municipalities to devise a plan then request grants from TxDOT Aviation. TxDOT gets the majority of the money they allocate from the Federal Aviation Administration. If the city is successful, the city or municipality owning the airport pledges to pay ten cents for each dollar needed for the project. The grant often provides ninety cents of each dollar for the project. But this is a lengthy and uncertain process.

If the grant request is successful, and the hangars are built, the municipality then establishes a rental rate almost always well below the fair market rate. This is done to be competitive with rates set by other municipalities in the region which have also received grants to improve their airports and build hangars.

The developers contend that, whenever possible, cities and municipalities should allow free enterprise to do what entrepreneurs do best; recognize a need or an underserved market, develop a plan or product to meet the need, then rent or sell the product to their customers. The goal of the developer is to invest his time and resources in order to create something of value and realize a profit. However, that is not guaranteed when 100% of the money, and risk, is his.

Project Description

The developers propose to build 49 enclosed hangars, in four buildings, to secure single-engine and light twin aircraft. In addition, they propose to build three larger corporate hangars for individuals or companies where multiple aircraft could be stored and maintained.

All of these hangars would be sold, fee-simple, with no ground lease. The concept is very similar to owning a condo. All of the space outside each “front door” is common area and would be managed and maintained by a property owner’s association. There would be modest monthly maintenance fees and a set of rules and by-laws for the common good of all the property owners.

A preliminary civil engineering study has confirmed that water and a gravity sewer line could serve the property. This would allow buyers of each of two slightly larger hangars at each end of each of the four rows to install a clean-up sink, a toilet, and perhaps a shower. The same would be true for the three larger corporate hangars at the north end of the property.

One significant stipulation for all hangar owners in this development is that only aircraft and aircraft-related tools and materials will be allowed in the hangars. No RVs, campers, project cars, boats or watercraft will be permitted. The developer wants and will expect only airworthy planes ready to buy fuel and fly on a regular basis. The City Fire Chief has seen the plan and approved the installation of three fire walls in each row of hangars to meet safety codes.

This development will diversify our local economy by attracting and retaining new businesses, a major theme of the 2040 Comp Plan. A new airport office and several new buildings at the airport will instill a sense of permanence and public pride. It will aid in creating a new and stable property tax base with very little impact on streets or public utilities.

A more vibrant and active airport will make a very positive contribution to the City’s unique character and personality, another goal of the 2040 Comp Plan. If approved Rockwall will have something very positive, unique and admired. It will attract specific businesses that will provide desirable skilled jobs at the airport and at our local business centers. It will also compliment and possibly expand the career curriculum for our local high schools, including the Aviation and Aerospace studies at the Dr. Gene Burton College & Career Academy.

Access Agreements

The developer believes the concessions offered to the City are substantial and comparable to those being asked of the City. In exchange for a perpetual “through-the-fence” access agreement, the developer is offering to provide and install a new 2,800 SF steel structure with slab and roof to serve as the new airport office/terminal. This new building would be located on the site of the current office and maintenance hangar.

Each of the 50+ aircraft owners would pay \$150 per year for his or her “through-the-fence” access to the airport property. This amount is equivalent to Access Agreements the City has with private property owners on the northwest corner of the airport. The City could use some of the monies in its existing airport fund for the interior and exterior finishing of that building.

Satisfying TxDOT Aviation

TxDOT wants to see a return on its very lop-sided investment in community airports. By loosening its grip on free enterprise and creativity, TxDOT Aviation will see how this project can significantly reduce the backlog of those waiting for hangars at several local airports, without tapping its resources. The developer understands the concept of ROI and believes the benefits described previously will be positive and long-term for Rockwall and the regional aviation community.

With a new airport office and dozens of additional aircraft based at FoxTrot46, the comradery and goodwill created by this project for the City will yield immediate and positive results. Those benefits will be seen in our business climate, our financial sector, RISD educational programs and perhaps even our cultural activities.

Proposing and creating new, “never-done-that-before” projects are what entrepreneurs do, every day. They determine a need, assess the market and the risks, they visualize a product or service, then set a course to accomplish something new and exciting. They will usually go into debt to help make their dreams a reality, but they rarely ask for a handout. There are many unseen benefits and rewards waiting to be discovered in this private enterprise endeavor.

If encouraged by the City, this project would reach its maximum potential. The developer and others who have looked closely at this hangar development do not see a downside to the City. If 50 or more aircraft arrive and call Rockwall home, fuel sales and off-airport services will double or triple in less than a year. Demand for on-field maintenance will more than double. That will be accommodated in part by a larger maintenance facility.

If this project is built there is every reason to believe it will be successful. In less than a year it will add over \$7 million to the property tax roll. Monies in the City’s Airport fund could be used for actual airport improvements and the finishing of the new airport office/terminal. If the City will embrace and sponsor this project it will serve as a great example of public-private cooperation to other cities and counties in Texas and perhaps beyond.

Some existing and new-to-Rockwall businesses will realize the efficiency of owning an aircraft and the convenience of having that business tool just a few minutes from their home or office. A major incentive to some will be the fact that they can own their hangar and build equity in a small but very important piece of real property.

ROCKWALL CITY COUNCIL REGULAR MEETING

Tuesday, July 06, 2021 - 5:00 PM

City Hall Council Chambers - 385 Goliad St., Rockwall, TX 75087

I. CALL PUBLIC MEETING TO ORDER

Mayor Fowler called the public meeting to order at 5:00 p.m. Present were Mayor Kevin Fowler, Mayor Pro Tem John Hohenshelt, and Council Members Clarence Jorif, Dana Macalik, Bennie Daniels, and Anna Campbell. Also present were Interim City Manager Mary Smith, Assistant City Manager Joey Boyd, and the city's legal counsel, Patrick Lindner. Councilmember Trace Johannesen was absent from the meeting.

Mayor Fowler read the below listed discussion items into the public record before recessing the meeting to go into Executive Session.

II. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTER AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding a 212 Development Agreement on land in the vicinity of County Road 483 and SH-205 pursuant to Section §551.072 (Real Property) and Section §551.071 (Consultation with Attorney).
2. Discussion regarding airport management agreement at the Ralph M Hall / Rockwall Municipal Airport pursuant to Section §551.071 (Consultation with Attorney).
3. Discussion regarding Oncor power line easements in the vicinity of the Ralph M. Hall / Rockwall Municipal Airport, pursuant to Section §551.071 (Consultation with Attorney).
4. Discussion regarding city regulatory boards and commissions (re)appointments, pursuant to Section, §551.074 (Personnel Matters)

III. ADJOURN EXECUTIVE SESSION

Council adjourned from Executive Session at 5:40 p.m.

IV. RECONVENE PUBLIC MEETING (6:00 P.M.)

Council reconvened the public meeting at 6:00 p.m. with the above listed council members being present and absent (Johannesen).

V. INVOCATION AND PLEDGE OF ALLEGIANCE - COUNCILMEMBER CAMPBELL

Councilmember Campbell delivered the invocation and led the Pledge of Allegiance.

VI. PROCLAMATIONS/AWARDS/RECOGNITIONS

1. Presentation of Citizen Lifesaving Awards to:
Chris Daniels,
Kaden McClendon, and
Harrison Steinberger

Assistant Fire Chief, Brett Merritt and Parks Director, Travis Sales came forward with Mayor Fowler. Chief Merritt called forth these three teenage boys and recognized them for saving the life of a little boy who was recently drowning at the Gloria Williams Swimming Pool. The

boys were serving as city lifeguards when the event took place, and each of them played a key role in saving this child's life. Chief Merritt profusely thanked the boys for their quick thinking and good work in performing CPR, getting appropriate medical help and saving the child's life.

VII. OPEN FORUM

Mayor Fowler explained how Open Forum is conducted, asking if anyone would like to come forth and speak at this time.

Stan Jeffus
2606 Cypress Drive
Rockwall, TX 75087

Mr. Jeffus came forth and indicated that he is a team leader for the city's Community Emergency Response Team (CERT). He shared that the attendance over this past weekend at the city's annual fireworks show was far lower compared to past years. He knows that attendees were unable to park in the field across from the park because the ground was too wet for vehicles due to heavy rains. He encouraged Council to consider some sort of method for increasing parking at Harry Myers Park.

Les Chapman
233 Sunset Hill Drive
Rockwall, TX 75087

Mr. Chapman came forth to speak about P2021-035 (Consent Agenda item #16). He shared that he is a longtime resident of Rockwall. He urged Council to seriously consider this proposal to put apartments in downtown Rockwall. He believes that approval of these apartments will forevermore change the makeup of downtown. He generally spoke against Council's approval of these apartments this evening.

Mayor Fowler explained that these apartments are allowed 'by right.' He went on to provide various, additional comments, explaining how a city council many years ago created a downtown plan that allows for this type of zoning 'by right.'

Penelope Chapman
233 Sunset Hill Drive
Rockwall, TX 75087

Mrs. Chapman came forth and expressed dissatisfaction about the P2021-035 proposal. She is also dissatisfied about this Council and previous city councils saying one thing but then doing another. She wonders if an additional fire station will need to be added because of this new downtown apartment complex. She urged Council to utilize common sense and not approve these proposed apartments.

Melba Jeffus
2606 Cypress Drive
Rockwall, TX 75087

Mrs. Jeffus shared that many years ago, she used to attend almost all Planning & Zoning Commission Meetings and Council meetings. She explained that at that time, our downtown was not as vibrant and bustling as it is now. So the Council that was seated at the time was

considering a ‘downtown plan’ in an effort to bring people downtown. As part of those discussions, Council indicated that apartments may someday be built in the downtown area. The apartments would be in an effort to draw residents who would live in downtown to walk to the downtown restaurants and businesses. She explained that since this was approved all those years ago, there is nothing that this current city council can do about preventing it.

Bob Wacker
309 Featherstone Drive
Rockwall, TX

Mr. Wacker came forth and indicated he needs some clarification on P2021-035 (Consent Agenda item #16). He commented that the Council could turn down a “Kroger” if there were a safety or health related issue. He indicated that Council could ‘turn down’ this proposal too, as there are safety issues (i.e. no sidewalks). Also, there are safety issues associated with the police vehicles having to go (only) south, even if they want to go north – he believes this is a safety concern. He shared that he will speak more about this topic at the next Planning & Zoning Commission meeting.

There being no one else wishing to come forth and speak, Mayor Fowler closed Open Forum.

VIII. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION

Mayor Pro Tem Hohenshelt moved to authorize the (interim) City Manager to negotiate a two year lease extension for the Fixed Based Operator (FBO / “airport”) agreement. Councilmember Macalik seconded the motion, which passed by a vote of 6 ayes with 1 absence (Johannesen).

IX. CONSENT AGENDA

1. Consider approval of the minutes from the June 21, 2021 regular city council meeting, and take any action necessary.
2. **Z2021-014** - Consider a request by Kevin Harrell of the Skorburg Company on behalf of Ben Klutts, Jr. of the Klutts Farm, LLC for the approval of an **ordinance** for a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 8.4 (SF-8.4) District land uses on a 196.009-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action necessary (**2nd Reading**).
3. **Z2021-015** - Consider a request by Jason Castro of Castro Development, LLC for the approval of an **ordinance** for a Specific Use Permit (SUP) allowing *Residential Infill in an Established Subdivision* on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary (**2nd Reading**).
4. **Z2021-017** - Consider a request by Tyler Wood of Intrepid Equity Investments, LLC on behalf of Robert B. Baldwin III of RBB/GCF Properties, LP for the approval of an **ordinance** for a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 17.03-acre tract of land identified as Tract 4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the south side of Airport Road east of the intersection of Airport Road and John King Boulevard, and take any action necessary (**2nd Reading**).
5. **Z2021-018** - Consider a request by Dan Gallagher, PE of Kimley-Horn and Associates, Inc. on behalf of L. R. Tipton of the Hitt Family, LP for the approval of an **ordinance** for a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 43.237-acre tract of land identified as Tract 11 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the FM-549 Overlay (FM-549 OV) District, located east of the

intersection of Corporate Crossing [FM-549] and Capital Boulevard, and take any action necessary **(2nd Reading)**.

6. **Z2021-019** - Consider the approval of an **ordinance** adopting the annual update to the OURHometown Vision 2040 Comprehensive Plan (*i.e. 2019 & 2020 Comprehensive Plan Update*), and take any action necessary **(2nd Reading)**.
7. Consider approval of the construction contract for FM 549 Utility Relocation Project and authorize the Interim City Manager to execute a construction contract with Gomez Brothers Construction, Inc., in the amount of \$1,414,670.00, to be paid out of the Water and Sanitary Sewer Fund, and taken any action necessary.
8. Consider approval of the contract for the construction materials testing for the FM 549 Utility Relocation Project and authorize the Interim City Manager to execute a construction contract with Alliance Geotechnical Group in the amount of \$26,426.88, to be paid out of the Water and Sanitary Sewer Fund, and taken any action necessary.
9. Consider approval of the construction contract for the Buffalo Creek Tributary 1 Sanitary Sewer Interceptor Capacity Improvement Project and authorize the Interim City Manager to execute a construction contract with Douglas Dailey Construction, LLC. in the amount of \$1,604,615.00, to be paid out of the Water and Sanitary Sewer Fund, and taken any action necessary.
10. Consider approval of the contract for the construction materials testing for the Buffalo Creek Tributary 1 Sanitary Sewer Capacity Improvement Project and authorize the Interim City Manager to execute a construction contract with Alliance Geotechnical Group in the amount of \$36,981.25, to be paid out of the Water and Sanitary Sewer Fund, and taken any action necessary.
11. **P2021-029** - Consider a request by Richard and Judy Harris Family Trust for the approval of a Replat for Lots 8-15, Block A, Richard Harris No. 2 Addition being a 5.50-acre tract of land identified as Lots 1-7, Block A, Richard Harris No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 400, 402, 404, 406, 408, 410, & 412 Renfro Street, and take any action necessary.
12. **P2021-030** - Consider a request by Luis M. Gonzalez of Pacheco Koch Consulting Engineers on behalf of Alton Frazier of Willcar Holdings, LLC for the approval of a Replat for Lot 4, Block A, Channell Subdivision being a 18.762-acre parcel of land identified as Lot 3, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 89 (PD-89) for Light Industrial (LI) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.
13. **P2021-031** - Consider a request by Alejandro Flores for the approval of a Replat for Lot 1, Block M, Lake Rockwall Estates East Addition being a 0.33-acre parcel of land identified as Lot 1406 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive, and take any action necessary.
14. **P2021-032** - Consider a request by David Srouji of D&M Construction on behalf of Abdul L. Khan of Centers for Peace and Mercy for the approval of a Final Plat for Lot 1, Block A, Centers for Peace and Mercy Addition being a 2.74-acre tract of land identified as Tract 10-01 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 600 Turtle Cove Boulevard, and take any action necessary.
15. **P2021-034** - Consider a request by Akhil Vats of ADAT Estate, LLC for the approval of a Final Plat for Lots 1 & 2, Block A, ADAT Addition being a 1.57-acre tract of land identified as Tracts 30, 31, 32, & 32-1, of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned Neighborhood Services (NS) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1001 N. Goliad Street, and take any action necessary.
16. **P2021-035** - Consider a request by Josh Millsap of KFM Engineering & Design on behalf of the Estate of Billy W. Peoples and Myreli, LLC for the approval of a Conveyance Plat for Lot 1, Block A, TAC Rockwall Addition being a 3.338-acre tract of land identified as Lots 1, 2, 3, 4, 5, 6, 7, & 8, Block P and Lots 1 & 2, Block AB, Rockwall OT Addition and Lots 4 & 5, Block A and Lots 4 & 5, Block B, Lowe &

Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated at the southwest corner of the intersection of SH-66 and SH-205 [N. Goliad Street], and take any action necessary.

Councilmember Jorif pulled item #16 for further discussion. Mayor Pro Tem Hohenshelt moved to approve the entire Consent Agenda, minus #16 (P2021-035) (to approve #s 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13 14, and 15). Councilmember Daniels seconded the motion. The ordinance (captions) were read as follows:

**CITY OF ROCKWALL
ORDINANCE NO. 21-24**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT 92 (PD-92) FOR SINGLE-FAMILY 8.4 (SF-8.4) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 196.009-ACRE TRACT OF LAND IDENTIFIED AS TRACT 6 OF THE J. A. RAMSEY SURVEY, ABSTRACT NO. 186, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**CITY OF ROCKWALL
ORDINANCE NO. 21-25
SPECIFIC USE PERMIT NO. S-249**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A DUPLEX ON A 0.165-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, HARRIS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**CITY OF ROCKWALL
ORDINANCE NO. 21-26**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A LIGHT INDUSTRIAL (LI) DISTRICT FOR A 17.03-ACRE TRACT OF LAND IDENTIFIED AS TRACT

4 OF THE D. HARR SURVEY, ABSTRACT NO. 102, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* AND FURTHER DEPICTED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

CITY OF ROCKWALL
ORDINANCE NO. 21-27

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A LIGHT INDUSTRIAL (LI) DISTRICT FOR A 43.237-ACRE TRACT OF LAND IDENTIFIED AS TRACT 11 OF THE J. LOCKHART SURVEY, ABSTRACT NO. 134, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* AND FURTHER DEPICTED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

CITY OF ROCKWALL
ORDINANCE NO. 21-28

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN IN ACCORDANCE WITH THE CITY'S HOME RULE CHARTER.

The motion passed by a vote of 6 ayes with 1 absence (Johannesen).

Councilmember Jorif asked for clarification on P2021-035. Planning Director, Ryan Miller clarified that this is a 'conveyance' plat, and it has been prepared in accordance with a 380 economic development agreement that was approved in November of 2019. It does meet all of the city's technical requirements, so it was placed on the Consent Agenda this evening. Jorif asked if Council has any discretion on its approval this evening. Mr. Miller shared that there is no discretion, as it is a ministerial approval. This means that if it meets the city's technical requirements, the city council is compelled to approve the plat. Based on that explanation, Councilmember Jorif moved to approve Consent Agenda item #16 (P2021-035). Mayor Pro Tem Hohenshelt seconded the motion, which passed by a vote of 6 ayes with 1 absence (Johannesen).

X. APPOINTMENT ITEMS

1. Appointment with Tom Kirkland, President of TEKMAK Development Company, to hear concerns pertaining to regulation of "short-term rentals" (i.e. "Airbnb" / "VRBO"), and take any action necessary.

Mr. Kirkland came forth and shared that he would like to speak to the Council about short-term rentals (such as VRBOs and AirBnBs). He is not against these types of businesses;

however, he believes there are some things Council could consider implementing in order to create a more equal playing field for those types of businesses as compared to traditional hotels. He expressed that he currently owns Springhill Suites, and a second hotel he owns will open here locally in Rockwall in September or October. He explained that short-term rentals are not subject to paying hotel/motel occupancy taxes, and they are not subject to inspections of any sort (health / safety, such as fire inspections). He shared that he will leave Council and the city manager with a copy of College Station's short-term rental ordinance.

Hohenshelt asked for clarification on if short-term rental properties do or do not pay 'HOT taxes.' Mrs. Smith clarified that those properties are subject to paying said taxes; however, there are only two who faithfully pay on a continual basis. She explained how difficult it is to monitor these types of rentals since the address of the property does not display unless/until it is booked, and then it is only revealed to the renter (customer). Mr. Kirkland shared that some other cities, such as College Station and San Marcos, pay a third party company to monitor and pinpoint these types of properties within their city.

Council took no action on this item; however, they indicated that they will look at the sample ordinances that Mr. Kirkland handed out this evening and will consider the issues he raised.

XI. ACTION ITEMS

1. **MIS2021-007** - Discuss and consider a request by Michael Hunter of the Rockwall Housing Development Corporation for the approval of a *Special Exception* to the setback requirements for a duplex on a 0.112-acre parcel of land identified as Lot 1, Block A, RHDC Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 814 Peters Colony, and take any action necessary.

Planning Director, Ryan Miller, briefed Council on this agenda item. The applicant, Mr. Michael Hunter then came forth and shared that he is the Executive Director of the NE TX Community Development Corporation, which is a DBA of the Rockwall Housing Development Corporation. He provided brief comments, respectfully asking the Council to consider approving this item this evening.

Mayor Pro Tem Hohenshelt moved to approve MIS2021-007. Councilmember Macalik seconded the motion, which passed by a vote of 6 ayes with 1 absence (Johannesen).

2. Discuss and consider directing staff to change Section 10, *Fee Schedule*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) to impose a fee for Specific Use Permit (SUP) and Variance/Special Exception requests that result from the construction of buildings or structures not in compliance with or without obtaining a building permit, and take any action necessary.

Mr. Miller provided background information pertaining to this agenda item. At a meeting in May, Council instructed staff to evaluate ways that residents can be discouraged from constructing non-conforming structures without approved building permits. Over the last year or so, there have been many cases of structures being built that do not comply with zoning ordinance regulations. Staff is suggesting that Council consider implementing an application fee of \$1,000 for a Specific Use Permit associated with a structure (a building). Said fee would be charged to offset additional staff time involved in dealing with those types of requests. This fee would be in addition to the fee the city already charges for "SUP applications." This fee will only come into play when there is a violation of the zoning code. At Mayor Fowler's request, he went on to explain the difference

between specific use permit (SUP) and a special exception. Mr. Miller provided said explanation, and extensive discussion took place pertaining to the proposed fee, associated 'refund(s)', and the associated implications. Following the discussion, Council generally indicated that they would like staff to go ahead and move forward with the process associated with making these changes to the city's Unified Development Code (UDC).

3. Discuss and consider (re)appointments to non-regulatory city boards and commissions, and take any action necessary.

Councilmember Macalik reappoint Chris Kosterman and Susan Guzman to serve an additional two-year term (expiring in August of 2023) on the city's ART Review Team. Councilmember Jorif seconded the motion, which passed by a vote of 6 ayes with 1 absence (Johannesen).

Councilmember Jorif move to reappoint Mike Potter, Fred Hansen, Guy White and Tim Wolf to serve an additional two-year term (expiring in August of 2023) on the Airport Advisory Board. Councilmember Macalik seconded the motion, which passed by a vote of 6 ayes with 1 absence (Johannesen).

Councilmember Campbell moved to reappoint Ken Dickson to the Animal Advisory Board for an additional two-year term (to expire August of 2023). Councilmember Jorif seconded the motion, which passed by a vote of 6 ayes with 1 absence (Johannesen).

Councilmember Daniels moved to reappoint the following board members to the city's Board of Adjustments for an additional two-year term (expiring in August of 2023): David Lowrey, Glenn Carr, Kevin Hadawi, and Kyle Thompson. Councilmember Campbell seconded the motion, which passed by a vote of 6 ayes with 1 absence (Johannesen).

Councilmember Daniels moved to newly appoint Patra Philips to the city's Architectural Review Board (to replace Ashlei Neill who is terming out) and reappoint Robert Miller and Julien Meyrat to the city's Architectural Review Board (ARB) for an additional two-year term (all terms to expire in August of 2023). Councilmember Jorif seconded the motion, which passed by a vote of 6 ayes with 1 absence (Johannesen).

Councilmember Jorif moved to reappoint Jason Alvarado, Angela Kleinheksel and Anna Dodd to an additional two-year term on the City's Park Board (expiring August 2023). Mayor Pro Tem Hohenshelt seconded the motion, which passed by a vote of 6 ayes with 1 absent (Johannesen).

Fowler moved to reappoint Teresa Sevier to the Rockwall Housing Authority Board (RHA). (term to expire August of 2023). Mayor Pro Tem Hohenshelt seconded the motion, which passed by a vote of 6 ayes with 1 absence (Johannesen).

XII. CITY MANAGER'S REPORT, DEPARTMENTAL REPORTS AND RELATED DISCUSSIONS PERTAINING TO CURRENT CITY ACTIVITIES, UPCOMING MEETINGS, FUTURE LEGISLATIVE ACTIVITIES, AND OTHER RELATED MATTERS.

1. Building Inspections Monthly Report - May 2021
2. Fire Department Monthly Report - May 2021
3. Parks & Recreation Department Monthly Report - May 2021
4. Police Department Monthly Report - May 2021
5. Sales Tax Historical Comparison
6. Water Consumption Historical Statistics

Interim City Manager Mary Smith thanked the city's Parks Director and his staff for all of the Independence Day festivities that took place over the weekend. She also thanked the Police Chief and his staff for all they did to keep the citizens safe, especially related to the lady recklessly driving the tractor at the parade.

XIII. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTER AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

- 1. Discussion regarding a 212 Development Agreement on land in the vicinity of County Road 483 and SH-205 pursuant to Section §551.072 (Real Property) and Section §551.071 (Consultation with Attorney).**
- 2. Discussion regarding airport management agreement at the Ralph M Hall / Rockwall Municipal Airport pursuant to Section §551.071 (Consultation with Attorney).**
- 3. Discussion regarding Oncor power line easements in the vicinity of the Ralph M. Hall / Rockwall Municipal Airport, pursuant to Section §551.071 (Consultation with Attorney).**
- 4. Discussion regarding city regulatory boards and commissions (re)appointments, pursuant to Section, §551.074 (Personnel Matters)**

XIV. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION

Council did not reconvene in Ex. Session following the close of the public meeting agenda.

XV. ADJOURNMENT

Fowler adjourned the meeting at 7:00 p.m.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, ON THIS 19th DAY OF JULY, 2021.

KEVIN FOWLER, MAYOR

ATTEST:

KRISTY COLE, CITY SECRETARY



MEMORANDUM

TO: Mary Smith, Interim City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: July 19, 2021

SUBJECT: P2021-033; FINAL PLAT FOR LOTS 1 & 2, BLOCK A, AARON SELDEN ADDITION

Attachments

Case Memo
Development Application
Location Map
Final Plat

Summary/Background Information

Consider a request by Aaron Selden for the approval of a *Final Plat* for Lots 1 & 2, Block A, Aaron Selden Addition being a 5.74-acre tract of land identified as Tracts 5-05, 5-06, & 5-12 of the J. Simmons Survey, Abstract No. 190, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 260 Anna Cade Road, and take any action necessary.

Action Needed

The City Council is being asked to approve, approve with conditions, or deny the *Final Plat*.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: July 19, 2021
APPLICANT: Aaron Selden
CASE NUMBER: P2021-033; *Lots 1 & 2, Block A, Aaron Selden Addition (ETJ)*

SUMMARY

Discuss and consider a request by Aaron Selden for the approval of a Final Plat for Lots 1 & 2, Block A, Aaron Selden Addition being a 5.74-acre tract of land identified as Tracts 5-05, 5-06, & 5-12 of the J. Simmons Survey, Abstract No. 190, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 260 Anna Cade Road, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a Final Plat for a 5.74-acre tract of land, creating *Lots 1 & 2, Block A, Aaron Selden Addition*, which is identified as Tracts 5-05, 5-06, & 5-12 of the J. Simmons Survey, Abstract No. 190 and is situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ). The purpose of the final plat is to subdivide the subject property into two (2) lots (*i.e. Lots 1 & 2, Block A, Aaron Selden Addition*). The subject property is generally located on the west side of Anna Cade Road in Rockwall County.
- The proposed final plat is subject to the requirements of Chapter 38, *Subdivisions*, of the City's Municipal Code of Ordinances, the City's *Standards of Design and Construction Manual*, and *Exhibit 'A', Subdivision Regulations for Review of Plats in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall*, of the *Interim Interlocal Agreement* between Rockwall County and the City of Rockwall.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by Chapter 38, Subdivisions, of the Municipal Code of Ordinances and Exhibit 'A' of the Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances and *Exhibit 'A'* of the *Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall*.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the Final Plat for *Lots 1 & 2, Block A, Aaron Selden Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to filing of the plat with Rockwall County; and,
- (2) The applicant shall have the city approved plat mylar signed by the Rockwall County Judge prior to staff accepting the plat for filing purposes; and,

- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On July 13, 2021, the Planning and Zoning Commission approved a motion to approve the Final Plat with the conditions of approval by a vote of 6-0, with Commissioner Deckard absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2021-033

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 260 ANNA CADE RD.

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING RESIDENTIAL

CURRENT USE RESIDENTIAL

PROPOSED ZONING RESIDENTIAL

PROPOSED USE RESIDENTIAL

ACREAGE 5.74

LOTS [CURRENT] 2

LOTS [PROPOSED] 2

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER AARON SELDEN

APPLICANT AARON SELDEN

CONTACT PERSON AARON SELDEN

CONTACT PERSON AARON SELDEN

ADDRESS 260 ANNA CADE RD.

ADDRESS 260 ANNA CADE RD.

CITY, STATE & ZIP ROCKWALL, TX 75087

CITY, STATE & ZIP ROCKWALL, TX 75087

PHONE 972-322-7282

PHONE 972-322-7282

E-MAIL ajslandscaping@yahoo.com

E-MAIL ajslandscaping@yahoo.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Aaron Selden [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

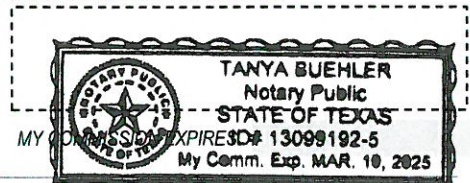
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 414.80 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF June, 20 21 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF June, 20 21


OWNER'S SIGNATURE

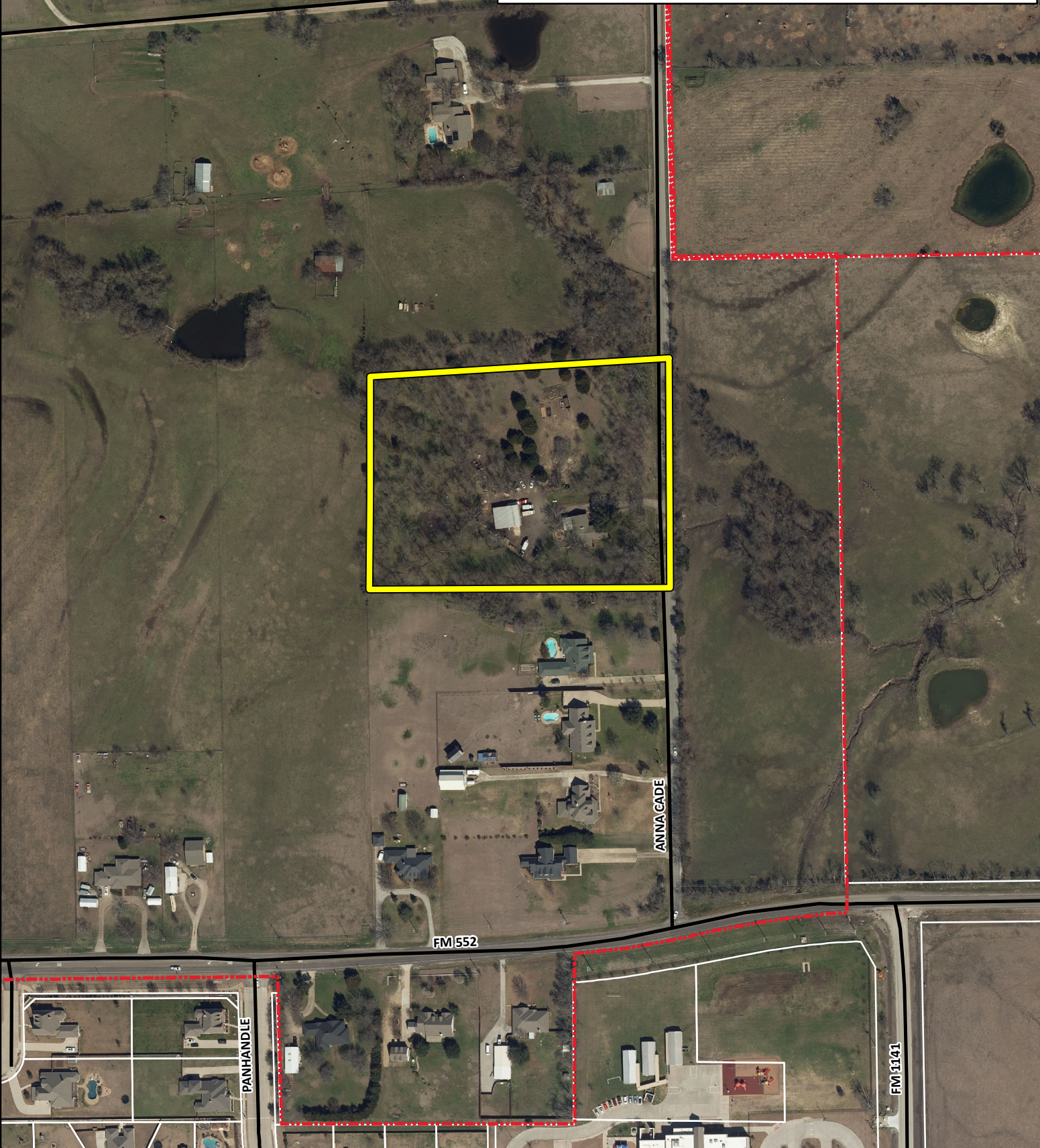
[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 80 160 320 480 640 Feet

P2021-033- LOTS 1 & 2, BLOCK A, AARON SELDEN ADDITION
FINAL PLAT - LOCATION MAP = 

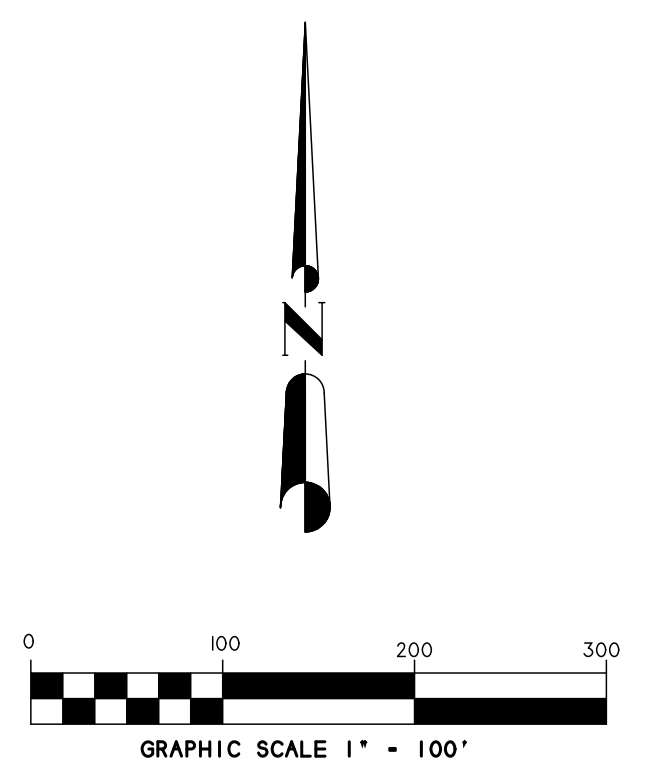
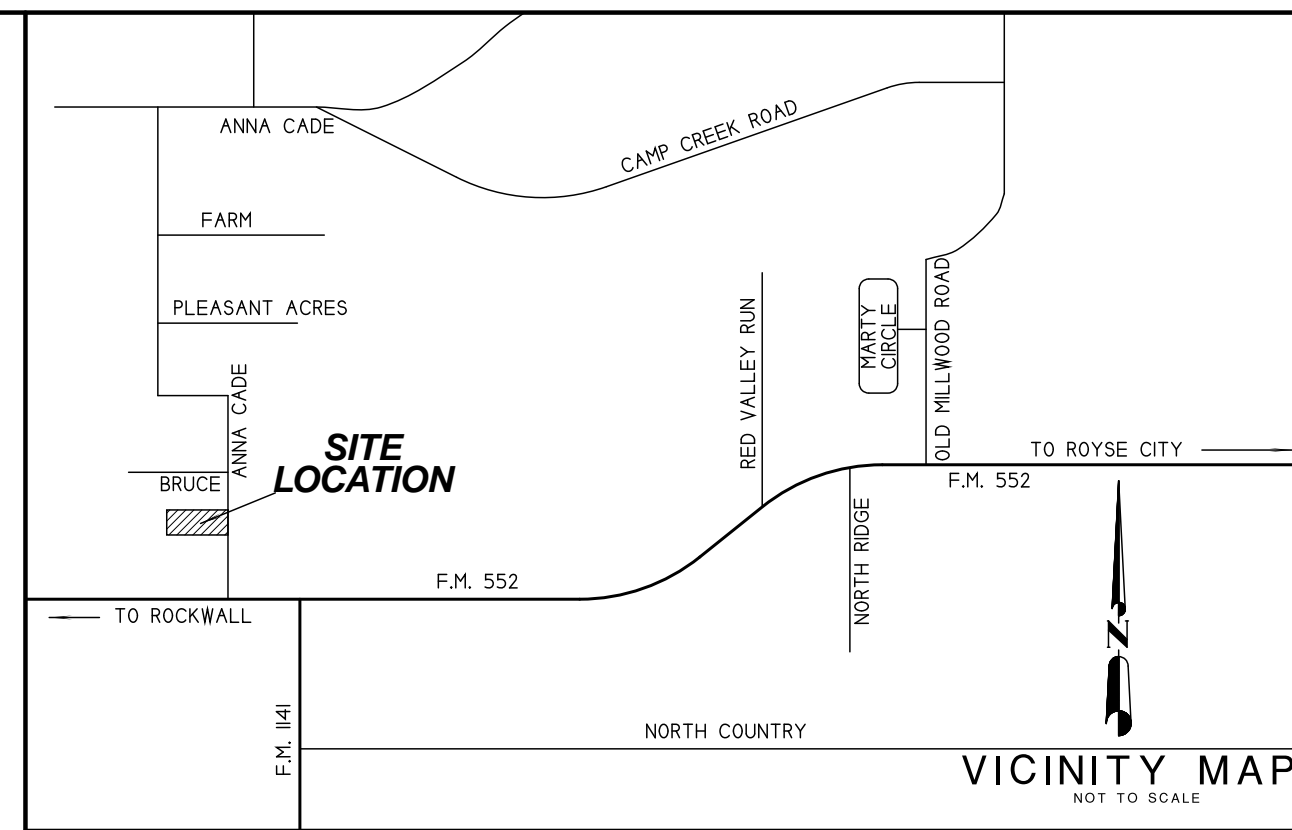
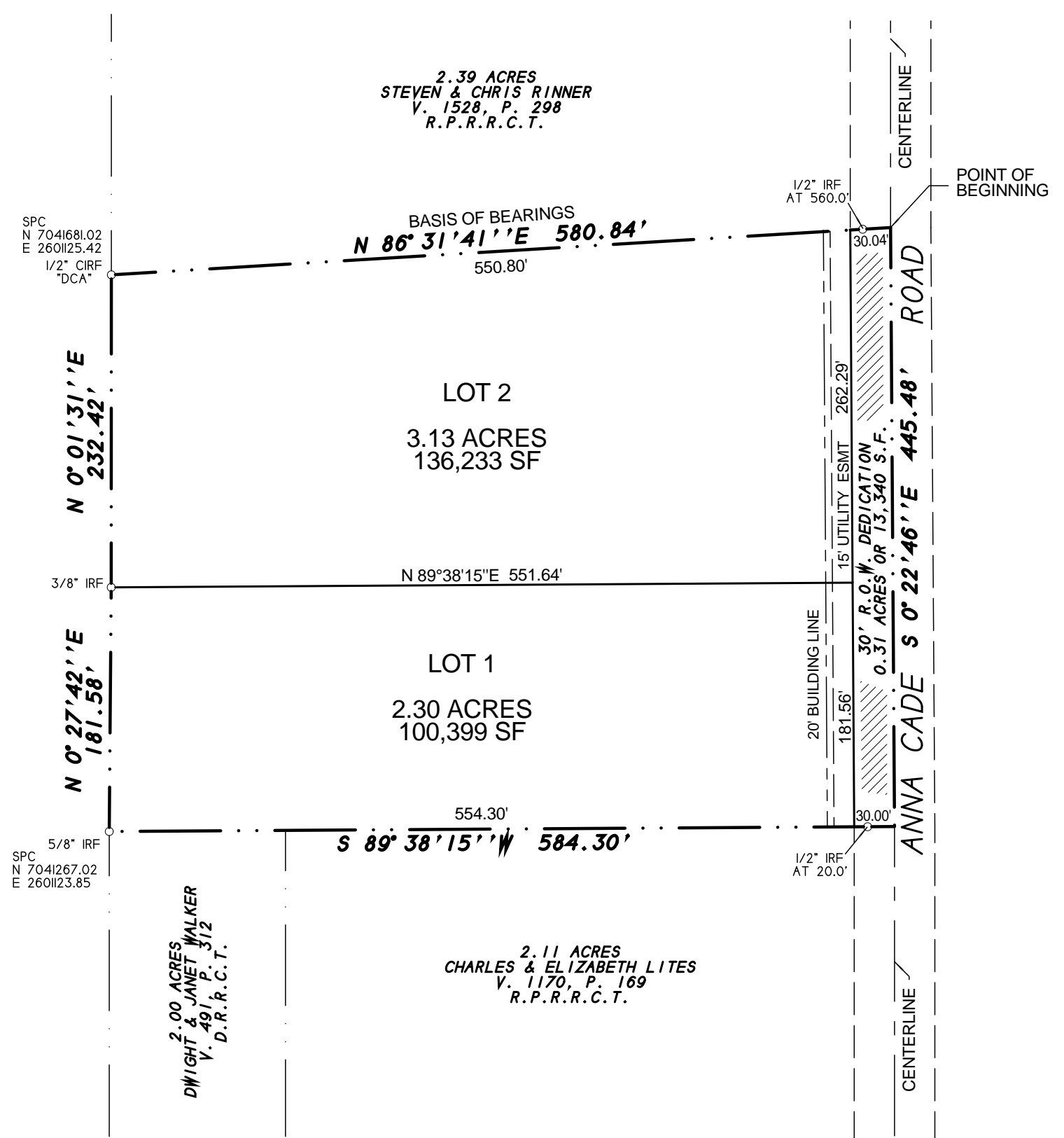


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





FINAL PLAT
AARON SELDEN ADDITION
LOTS 1 & 2, BLOCK A

5.74 ACRES OR 249,972 S.F.
 (2 LOTS)
 JOHN SIMMONS SURVEY, A-190
 IN THE E.T.J. OF
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0035 L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
 - 2) BEARING SOURCE: RECORDED DEED IN VOLUME 1528, PAGE 298, R.P.R.R.C.T.
 - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
 - 4) PROPERTY OWNER TO MAINTAIN, REPAIR, AND REPLACE DRAINAGE SYSTEMS ON SITE.
 - 5) Before there is any construction on the property, a City of Rockwall approved grading plan with flood study will be required.

OWNER:
AARON SELDEN
ADRIENNE SELDEN
 260 ANNA CADE ROAD
 ROCKWALL, TEXAS 75087

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 101509-00
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SHEET 1 OF 2

SYMBOL LEGEND	
⊗	TV
⊙	GAS
⊕	TELEPHONE
⊖	CABLE
⊗	WATER
⊙	ELECTRIC
⊕	BOX
⊖	JUNCTION
⊗	WATER
⊙	METER
⊕	HYDRANT
⊖	POLE
⊗	1/2" IRF
⊙	IRON ROD FOUND
⊕	CORNER
⊖	PROPOSED
⊗	AVC
⊙	AIR COND
⊕	UNIT
⊖	PROPANE
⊗	TANK

SURVEY DATE JUNE 1, 2021
 SCALE 1" = 100' FILE # 20062058-FF
 CLIENT SELDON

CASE NO. P2021-033

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS Aaron Selden and Adrienne Selden, Being the owners of a tract of land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the JOHN SIMMONS SURVEY, ABSTRACT NO. 190, Rockwall County, Texas, and being a part of that tract of land as described in a Quitclaim Deed from Connie Eubank to Sherri Lynn Eubank Kelley, dated May 22, 1989 and being recorded in Volume 485, Page 315 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a point for corner in the center of Anna Cade Road, at the Southeast corner of a 2.392 acres tract of land as described in a Warranty deed from Sherri Lynn Eubank Kelley to Steve Rinner and Chris Rinner, dated December 16, 1998 and being recorded in Volume 1528, Page 298 of the Real Property Records of Rockwall County, Texas, said point being S. 00 deg. 22 min. 46 sec. E., 365.00 feet from the Northeast corner of a 58.28 acres tract of land as described in a Deed to Sam R. Eubank, as recorded in Volume 39, Page 175 of the Deed Records of Rockwall County, Texas;

THENCE S. 00 deg. 22 min. 46 sec. E. along the center of Anna Cade Road, a distance of 445.48 feet to a point for corner at the Northeast corner of a 2.1116 acres tract of land as described in a Warranty deed from C.L. Castillo Builders, Inc. to Charles Duane Lites and Elizabeth Ann Lites, dated October 14, 1996 and being recorded in Volume 1170, Page 169 of the Real Property Records of Rockwall County, Texas;

THENCE S. 89 deg. 38 min. 15 sec. W., at 20.00 feet pass a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for witness and continuing for a total distance of 584.30 feet to a 5/8" iron rod found for corner in the East line of a 9.42 acres tract as described in a Warranty deed from Don C. Eubank to Steven Rinner, as recorded in Volume 530, Page 99 of the Real Property Records of Rockwall County, Texas, said point being at the Northwest corner of a 2.00 acres tract of land as described in a Warranty deed from Joanne Page to Dwight L. Walker and Janet S. Walker, dated August 21, 1989 and being recorded in Volume 491, Page 312 of the Real Property Records of Rockwall County, Texas;

THENCE N. 00 deg. 27 min. 42 sec. E. along the East line of said 9.42 acres tract, a distance of 181.58 feet to a 3/8" iron rod found for corner;

THENCE N. 00 deg. 01 min. 31 sec. E. along the East line of said 9.42 acres tract, a distance of 232.42 feet to a 1/2" iron rod found for corner at the Southwest corner of said 2.392 acres tract;

THENCE N. 86 deg. 31 min. 41 sec. E. (Basis of Bearings) along the South line of said 9.42 acres tract, at 560.00 feet pass a 1/2" iron rod found for witness and continuing for a total distance of 580.84 feet to the POINT OF BEGINNING and containing 5.74 acres of land, of which 0.31 acres lies within Anna Cade Road.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as AARON SELDEN ADDITION, LOTS 1 & 2, BLOCK A, an Addition to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in AARON SELDEN ADDITION, LOTS 1 & 2, BLOCK A, have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City of Rockwall and County; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city and county to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the County be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

AARON SELDEN _____

ADRIENNE SELDEN _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Aaron Selden known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Adrienne Selden known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of AARON SELDEN ADDITION, LOTS 1 & 2, BLOCK A, an addition to the Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall _____

City Secretary City of Rockwall _____

City Engineer _____

Date _____

Rockwall County Judge _____

Date _____

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

FINAL PLAT
AARON SELDEN ADDITION
LOTS 1 & 2, BLOCK A

5.74 ACRES OR 249,972 S.F.
(2 LOTS)

JOHN SIMMONS SURVEY, A-190
IN THE E.T.J. OF
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

SYMBOL LEGEND									
TV	GAS	TEL	FH	FP					
TELEVISION	S&L	PHONE	FIRE	POWER					
CABLE RISER	WATER	WATER	HYDRANT	POLE					
ELEC	ELEC	W	LP	1/2" IRP					
ELECTRIC	WELL	WELL	LP	IRP FOUND					
PETER	SUBSURFACE	PETER	LIGHT	1" CORNER					
JUNCTION BOX	POLE	POLE	POLE	POLE					
--- EXISTENT LINE ---	--- AIR COND. UNIT ---	--- PROPANE TANK ---							

OWNER:
AARON SELDEN
ADRIENNE SELDEN
260 ANNA CADE ROAD
ROCKWALL, TEXAS 75087

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE JUNE 1, 2021
SCALE 1" = 100' FILE # 20062058-FP
CLIENT SELDON

CASE NO. P2021-033



MEMORANDUM

TO: Mary Smith, Interim City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: July 19, 2021

SUBJECT: P2021-036; PRELIMINARY PLAT FOR PHASE 2 OF THE LANDON SUBDIVISION

Attachments

Case Memo
Development Application
Location Map
Preliminary Plat
Preliminary Water Plan
Preliminary Drainage Plan
Closure Report

Summary/Background Information

Consider a request by Bart Carroll for the approval of a *Preliminary Plat* for Phase 2 of the Landon Subdivision being a 94.273-acre tract of land identified as a portion of Tract 13 of the S. McFadgin Survey, Abstract No. 142, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at the southwest corner of the intersection of S. Munson Street and Streetman Road, and take any action necessary.

Action Needed

The City Council is being asked to approve, approve with condition, or deny the *Preliminary Plat*.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: July 19, 2021
APPLICANT: Bart Carroll
CASE NUMBER: P2021-036; *Preliminary Plat for Phase 2 of the Landon Subdivision*

SUMMARY

Consider a request by Bart Carroll for the approval of a Preliminary Plat for Phase 2 of the Landon Subdivision being a 94.273-acre tract of land identified as a portion of Tract 13 of the S. McFadgin Survey, Abstract No. 142, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at the southwest corner of the intersection of S. Munson Street and Streetman Road, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a Preliminary Plat for a single-family residential subdivision (*i.e. The Landon, Phase 2 Addition*), which will be situated on a 94.273-acre tract of land located within the City of Rockwall's Extraterritorial Jurisdiction (ETJ). According to the preliminary plat, the development will consist of 50 single-family residential lots that will be a minimum of 1½-acres in size. The development will be accessible via a 50-foot roadway (*i.e. Streetman Road*) that will connect to the existing S. Munson Road, which is the main entrance to Phase 2. The preliminary plat also shows that an additional 30-feet of right-of-way will be dedicated to S Munson Road. This dedication conforms to the *Rockwall County Thoroughfare Plan*.
- In addition to the preliminary plat, the applicant has submitted preliminary drainage and utility plans indicating how the development will be served. According to Section 38-5(d)(1), *Policy*, of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances, "(l)and proposed for development in the city and in the city's extraterritorial jurisdiction must be served adequately by essential public facilities and services, including water facilities, wastewater facilities, roadway and pedestrian facilities, drainage facilities and park facilities Land shall not be approved for platting or development unless and until adequate public facilities necessary to serve the development exist or provision has been made for the facilities whether the facilities are to be located within the property being developed or offsite." The applicant's proposed preliminary plat appears to show the provision of sufficient public facilities; however, *Phase 2 of The Landon Addition* is served by two (2) water districts that hold the Certificate of Convenience and Necessity (CCN) [*i.e. Cash Special Utility District & Blackland Water Supply Corporation*] for a portion of the subject property. Additionally, the applicant has provided a *Will Serve Letter* from Cash Special Utility District during *Phase 1* indicating this district holds the Certificate of Convenience and Necessity (CCN) for the subject property, and will suffice for that portion of *Phase 2* of the development. However, staff has requested that the applicant either provide a will serve letter from Blackland Water Supply Corporation or a letter releasing the CCN from Blackland Water Supply Corporation (WSC) to Cash Special Utility District (SUD) prior to the approval of a final plat in order to show adequate service of the subject property. This has been added as a condition of approval.
- The purpose of the *preliminary plat* is to provide sufficient information to evaluate and review the general design of the development ensuring compliance with Chapter 38, *Subdivisions*, of the City's Municipal Code of Ordinances, the City's *Standards of Design and Construction Manual*, and *Exhibit 'A', Subdivision Regulations for Review of Plats in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall*, of the *Interim Interlocal Agreement between Rockwall County and the City of Rockwall*. In addition, the preliminary plat is required to meet all of the requirements of the *Interim Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality between Rockwall County and the City of Rockwall*, the City of Rockwall's *Standards of Design and Construction Manual*, and Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by Chapter 38, Subdivisions, of the Municipal Code of Ordinances and Exhibit 'A' of the Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances and *Exhibit 'A'* of the *Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall*.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the Preliminary Plat for *Phase 2 of the Landon Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to submittal of civil engineering plans.
- (2) The applicant provide a will serve letter from Blackland Water Supply Corporation (WSC) or a letter releasing the CCN from Blackland Water Supply Corporation (WSC) to Cash Special Utility District (SUD) prior to the approval of a final plat for the subject property.
- (3) Any construction resulting from the approval of this Preliminary Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On July 13, 2021, the Planning and Zoning Commission approved a motion to approve the preliminary plat with the conditions of approval by a vote of 6-0, with Commissioner Deckard absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2021-036

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: *Phillips*

CITY ENGINEER: *[Signature]*

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **west intersection of Streetman Road and S. Munson Road**

SUBDIVISION **The Landon Phase Two**

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE **94.273**

LOTS [CURRENT] **0**

LOTS [PROPOSED] **50**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Robert John Crowell**

APPLICANT **Carroll Consulting Group, Inc.**

CONTACT PERSON

CONTACT PERSON **James Bart Carroll**

ADDRESS **P.O. Box 466**

ADDRESS **P.O. Box 11**

CITY, STATE & ZIP **Royse City, TX 75189**

CITY, STATE & ZIP **Lavon, TX 75166**

PHONE **214-460-4444**

PHONE **972-742-4411**

E-MAIL **robertjcrowell@yahoo.com**

E-MAIL **bart.carroll@yahoo.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Robert John Crowell [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

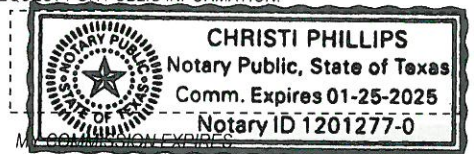
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF June, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF June, 2021.

OWNER'S SIGNATURE

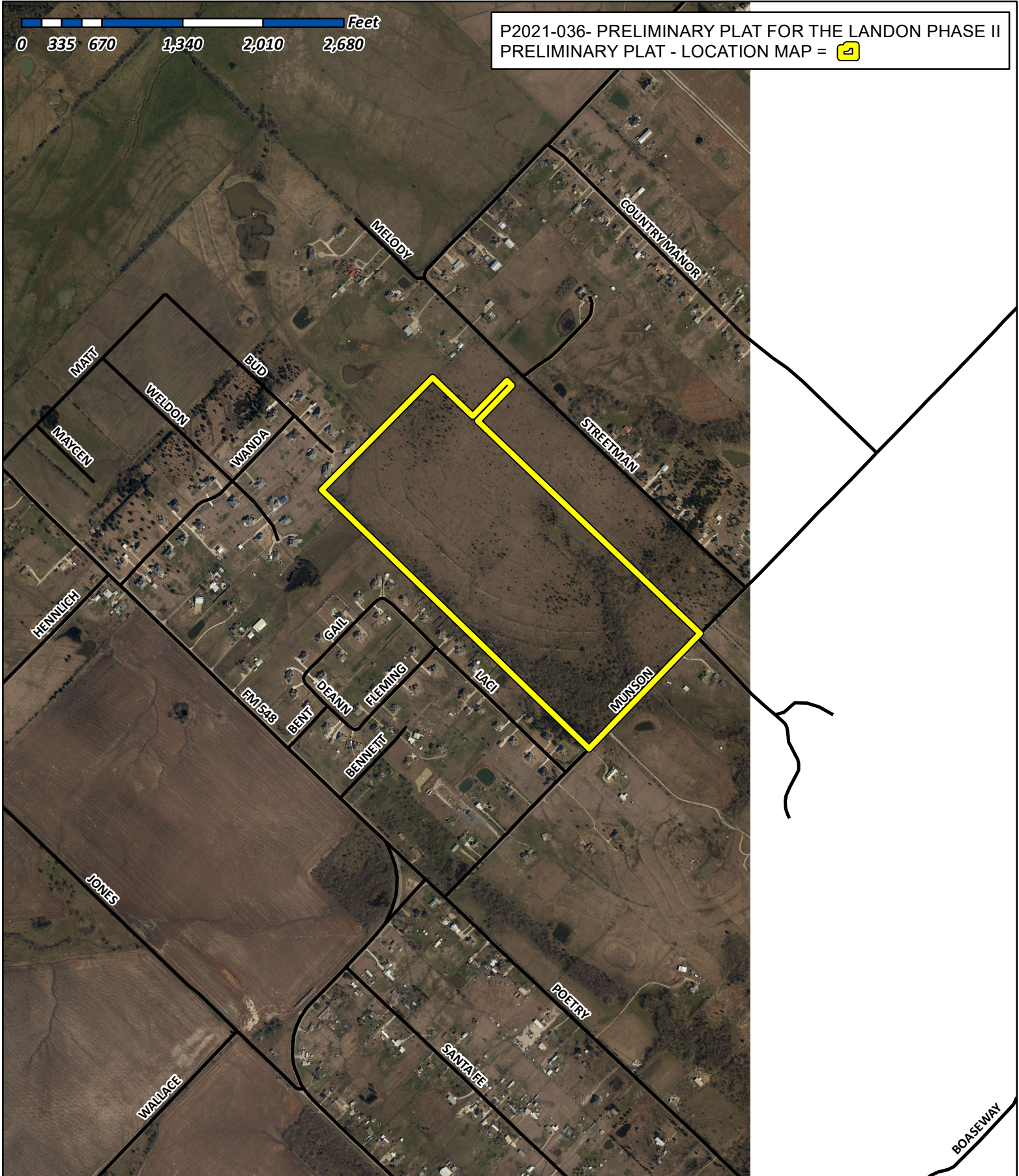
[Signature of Robert John Crowell]
[Signature of Christi Phillips]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 335 670 1,340 2,010 2,680 Feet

P2021-036- PRELIMINARY PLAT FOR THE LANDON PHASE II
PRELIMINARY PLAT - LOCATION MAP = 

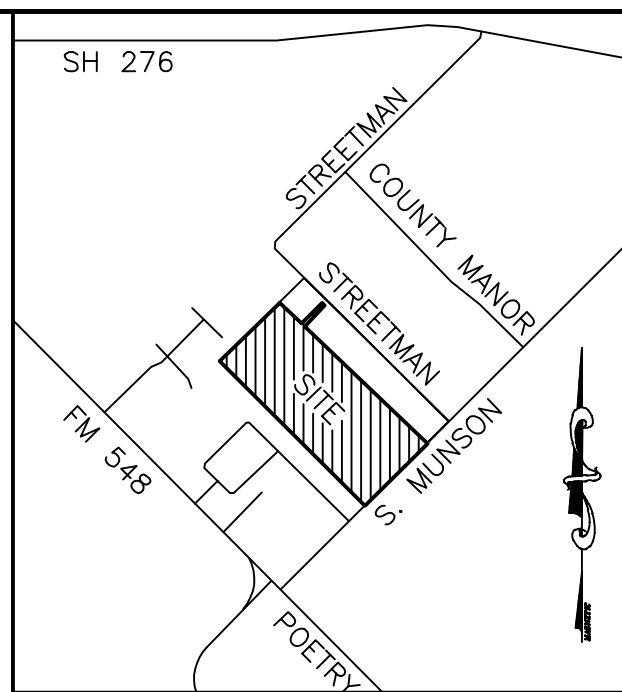
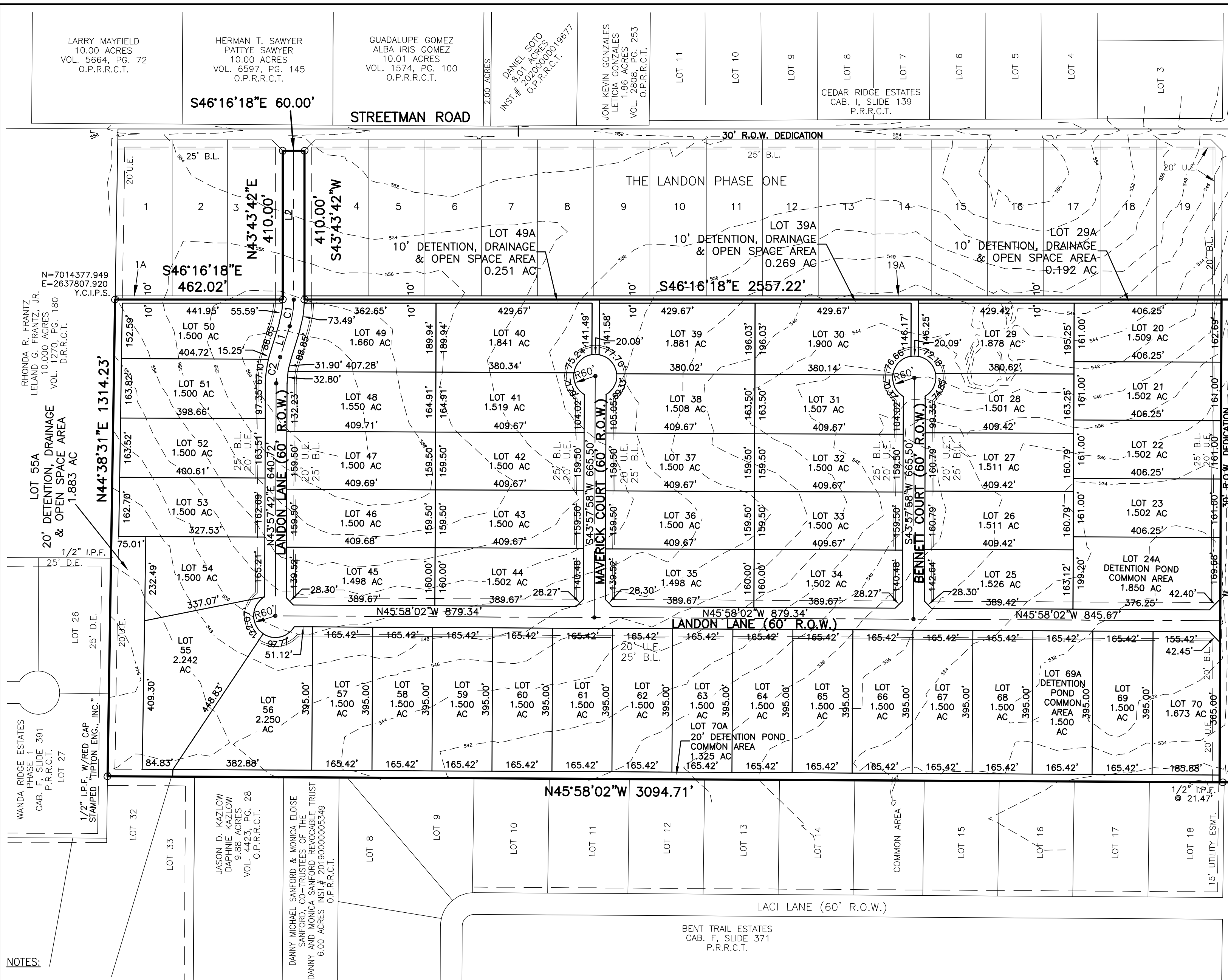


City of Rockwall

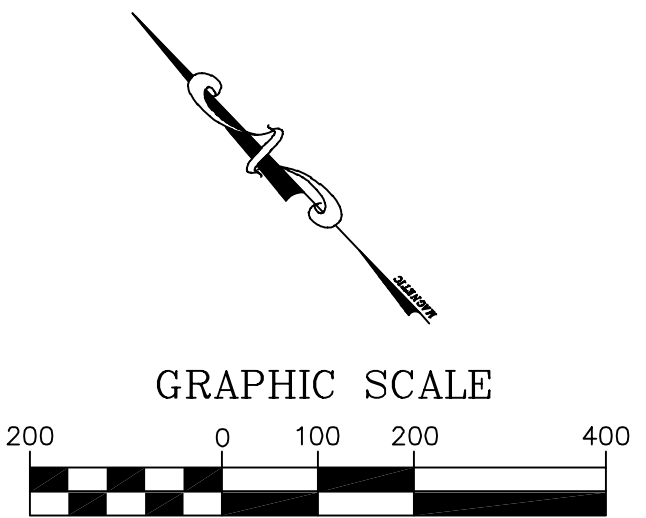
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LOCATION MAP (N.T.S.)



GRAPHIC SCALE

(IN FEET)
1 inch = 200 ft.

Line Table		
Line #	Direction	Length
L1	N60°48'44"E	88.85'
L2	N43°43'42"E	410.00'

Curve Table				
Curve #	Length	Radius	Delta	CHORD
C1	74.54'	250.00'	17°05'03"	N52°16'13"E, 74.27'
C2	73.53'	250.00'	16°51'03"	N52°23'13"E, 73.26'

POINT OF BEGINNING
N=7011291.816
E=2639109.361

SUSAN J. DAHSE
WALTER D. DAYSE
12.000 ACRES
VOL. 5357, PG. 124
O.P.R.R.C.T.

FELIX DIAZ
10,000 ACRES
INST. # 2016000009790

SUSAN P. DEWITT
6.50 ACRES
VOL. 6510, PG. 272
O.P.R.R.C.T.

RALPH MAXWELL BUTLER & KAY ANN BUTLER
24.32 ACRES INST. # 20170000021259

LARRY CALDWELL 5.00 ACRES
VOL. 6028, PG. 287

RICHARD A. GRESCHAW
MARY J. GRESCHAW
5.500 ACRES
VOL. 1636 PG. 251
O.P.R.R.C.T.

- NOTES:**
1. Located in the City of Rockwall, Texas E.T.J.
 2. Water supplied by Cash SUD.
 3. State Plain Coordinates ties to City of Rockwall Geodetic Control Monument Station COR-20.
 4. All drainage and detention easements shall be maintained, repaired, and replaced by the property owner.
 5. All lots to use on-site sewage facilities. Rockwall County to review and approve the sewage disposal method. OSSF permits are required prior to construction.

NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the Texas State Plane Coordinate System NAD 83, North Central Zone (4202), North American Datum of 1983.

LEGEND

M.N.S. - MAG NAIL SET
I.P.F. - IRON PIN FOUND
D.R.R.C.T. - DEED RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
Y.C.I.P.S. - ALL CORNERS SHALL BE A 1/2" IRON PIN SET WITH YELLOW CAP STAMPED "CCG INC RPLS 5129" UNLESS OTHERWISE NOTED.

FLOOD NOTE:

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0065L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

OWNER:
ROBERT JOHN CROWELL
PO BOX 466
ROYSE CITY, TEXAS 75189
PHONE: (214) 460-4444

PRELIMINARY PLAT
THE LANDON PHASE TWO
LOTS 20-70 & LOTS 29A, 39A, 49A,
55A, 69A & 70A, BLOCK A
50 Residential Lots
Being 94.273 - Acres of Land
Samuel McFadgin Survey, Abstract No. 142
Situated within the
Extraterritorial Jurisdiction (ETJ)
of the City of Rockwall
Rockwall County, Texas
Case No.: P2021-036

CARROLL CONSULTING GROUP, INC.
972-742-4411
TEXAS FIRM REGISTRATION NO.: 10007200
TBPELS REGISTRATION NO.: F-21608

JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2759-20	1"=200'	JULY 6, 2021	CP

STATE OF TEXAS
COUNTY OF ROCKWALL

OWNER'S CERTIFICATE

Whereas, Robert John Crowell is the owner of a tract of land situated in the Samuel McFadgin Survey, Abstract No. 142, Rockwall County, Texas, and being the same called 65 acre tract land and 65.8 acre tract of land as conveyed to Mildred Ann Howell Williams by deed recorded in Volume 152, Page 853, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a point for the south corner of said 126.903 acre tract and being in the center of S. Munson Road;

Thence, North 45°58'02" West, along the southwest line of said 65.8 acre tract, the southwest line of said 65 acre tract, the northeast line of Bent Trail Estates, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 371, Plat Records, Rockwall County, Texas, the northeast line of a 6.00 acre tract of land conveyed to Danny Michael Sanford and Monica Eloise Sanford, Co-Trustees of the Danny and Monica Sanford Revocable Trust by deed recorded in Instrument No. 2019000005349, Official Public Records, Rockwall County, Texas, the northeast line of a 9.88 acre tract of land conveyed to Jason D. Kazlow and Daphnie Kazlow by deed recorded in Volume 4423, Page 28, Official Public Records, Rockwall County, Texas and an east line of Wanda Ridge Estates Phase 1, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 391, Plat Records, Rockwall County, Texas, passing at a distance of 21.47 feet a 1/2" iron pin found and for a total distance of 3094.71 feet to a 1/2" iron pin found with red cap stamped "TIPSON ENG. INC." for the west corner of said 65 acre tract and a re-entrant corner of said Wanda Ridge Estates Phase 1;

Thence, North 44°38'31" East, along the northwest line of said 65 acre tract, a southeast line of said Wanda Ridge Estates Phase 1 and the southeast line of a 10.000 acre tract of land conveyed to Rhonda R. Frantz and Leland G. Frantz, Jr. by deed recorded in Volume 1270, Page 180, Deed Records, Rockwall County, Texas, a distance of 1314.23 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, South 46°16'18" East, a distance of 462.02 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, North 43°43'42" East, a distance of 410.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, South 46°16'18" East, a distance of 60.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, South 43°43'42" West, a distance of 410.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, South 46°16'18" East, a distance of 2557.22 feet to a mag nail set for corner on the southeast line of said 65.8 acre tract and in the center of S. Munson Road;

Thence, South 43°57'58" West, along the southeast line of said 65.8 acre tract and the center of S. Munson Road, a distance of 1330.52 feet to the Point of Beginning and containing 4,106,540 square feet or 94.273 acres of land.

Planning & Zoning Commission, Chairman

Date

APPROVED:
I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 20____ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulations in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, 20____.

Mayor, City of Rockwall

City Secretary

City Engineer

Rockwall County Judge

Date

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as THE LANDON PHASE TWO subdivision to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the The Landon Phase Two subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

(1) No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

(2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

(3) The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

(4) The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

(5) The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

(6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Rules and Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City and County of Rockwall; or

(7) Property Owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County Administrator, computed on a private commercial rate basis, has been made with the County, accompanied by an agreement signed by the developer and/or owner, authoring the City and County to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements with the time stated in such written agreement, but in no case shall the City of County be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the ____ day of _____, 2021.

Robert John Crowell, Owner

STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared Robert John Crowell, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purpose and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS ____ DAY OF _____, 2021.

Notary Public for the State of Texas
My Commission expires _____

SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, James Bart Carroll, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon as set were properly placed under my personal supervision.

Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

James Bart Carroll
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE

STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this ____ day of _____, 2021.

Notary Public in and for the State of Texas.
My commission expires: _____

PRELIMINARY PLAT

THE LANDON PHASE TWO
LOTS 20-70 & LOTS 29A, 39A, 49A,
55A, 69A & 70A, BLOCK A

50 Residential Lots
Being 94.273 - Acres of Land

Samuel McFadgin Survey, Abstract No. 142
Situated within the
Extraterritorial Jurisdiction (ETJ)

OWNER:
ROBERT JOHN CROWELL
PO BOX 466
ROYSE CITY, TEXAS 75189
PHONE: (214) 460-4444

of the City of Rockwall
Rockwall County, Texas
Case No.: P2021-036

CARROLL CONSULTING GROUP, INC.

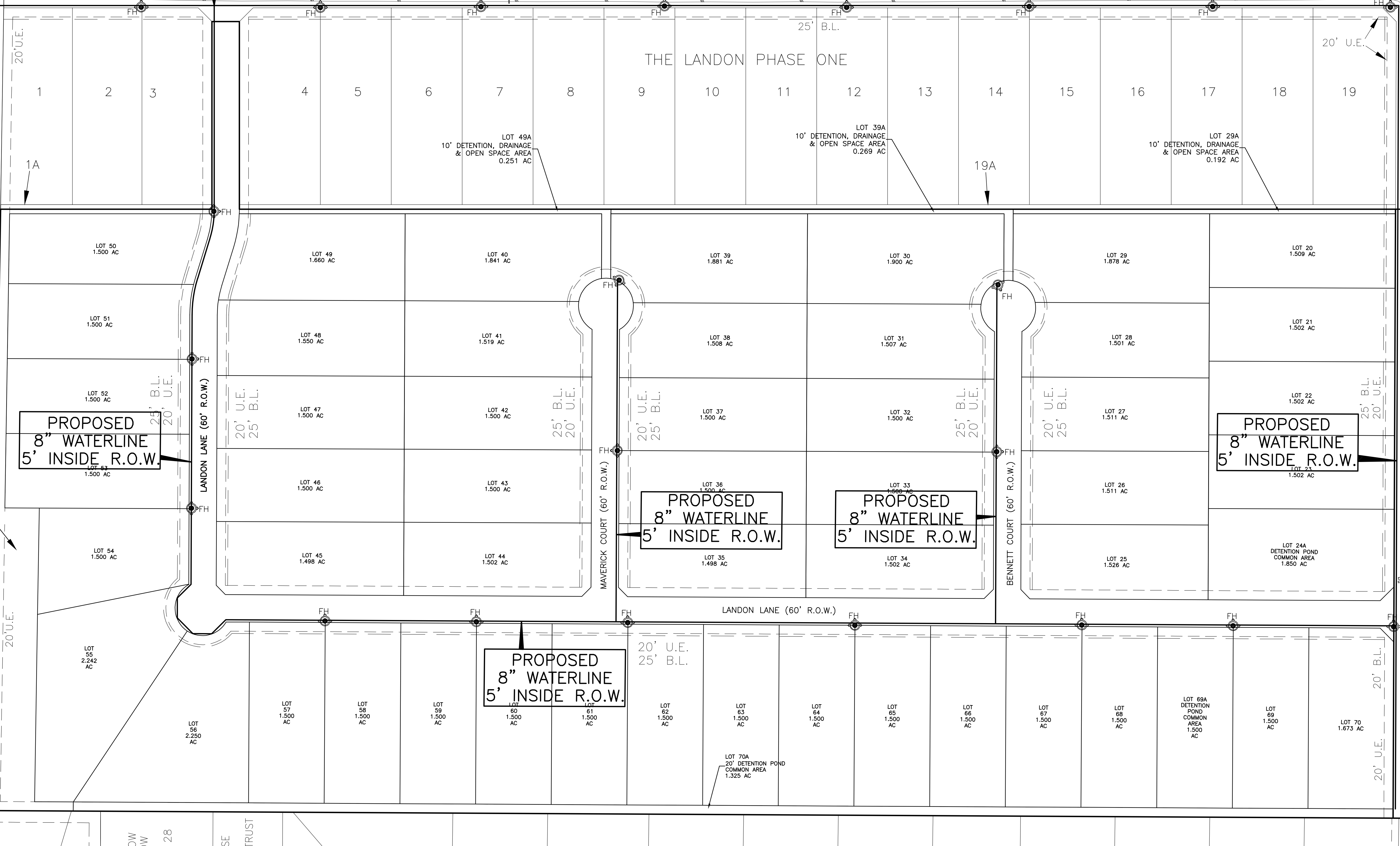
P.O. BOX 11
LAVON, TEXAS 75166
972-742-4411
TEXAS FIRM REGISTRATION NO.: 10007200
TBPELS REGISTRATION NO.: F-21608

JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2759-20	1"=200'	JULY 6, 2021	CP

8" WATERLINE STREETMAN ROAD

THE LONDON PHASE ONE

P.R.R.C.T.



LARRY VC
RALPH M 24.32

S. MUNSON ROAD

EXISTING:
2-48" CMPS

PROPOSED
8" WATERLINE
5' INSIDE R.O.W.

PROPOSED
8" WATERLINE
5' INSIDE R.O.W.

PROPOSED
8" WATERLINE
5' INSIDE R.O.W.

PROPOSED
8" WATERLINE
5' INSIDE R.O.W.

PROPOSED
8" WATERLINE
5' INSIDE R.O.W.

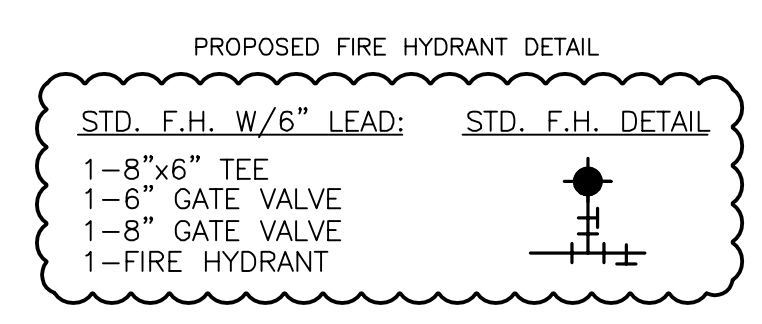
ALL INITIAL DEADEND WATER LINES NEED TO HAVE A FIRE HYDRANT WITH AUTOMATIC FLUSHING MECHANISM INSTALLED AT END.

ANY WATER VALVES DEEPER THAN 6 FEET NEED TO HAVE VALVE EXTENSIONS.

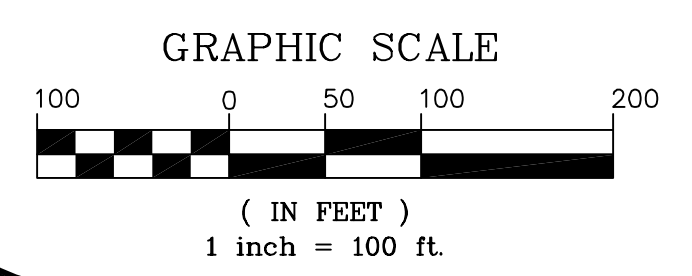
UTILITY CONTRACTORS TO PROVIDE AND INSTALL DUAL CHECK VALVES AT METER SERVICES.

ALL FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 250/HS (HIGH SECURITY)

ALL WATER FITTINGS SHALL BE AWWA C-153 COMPACT DUCTILE IRON.



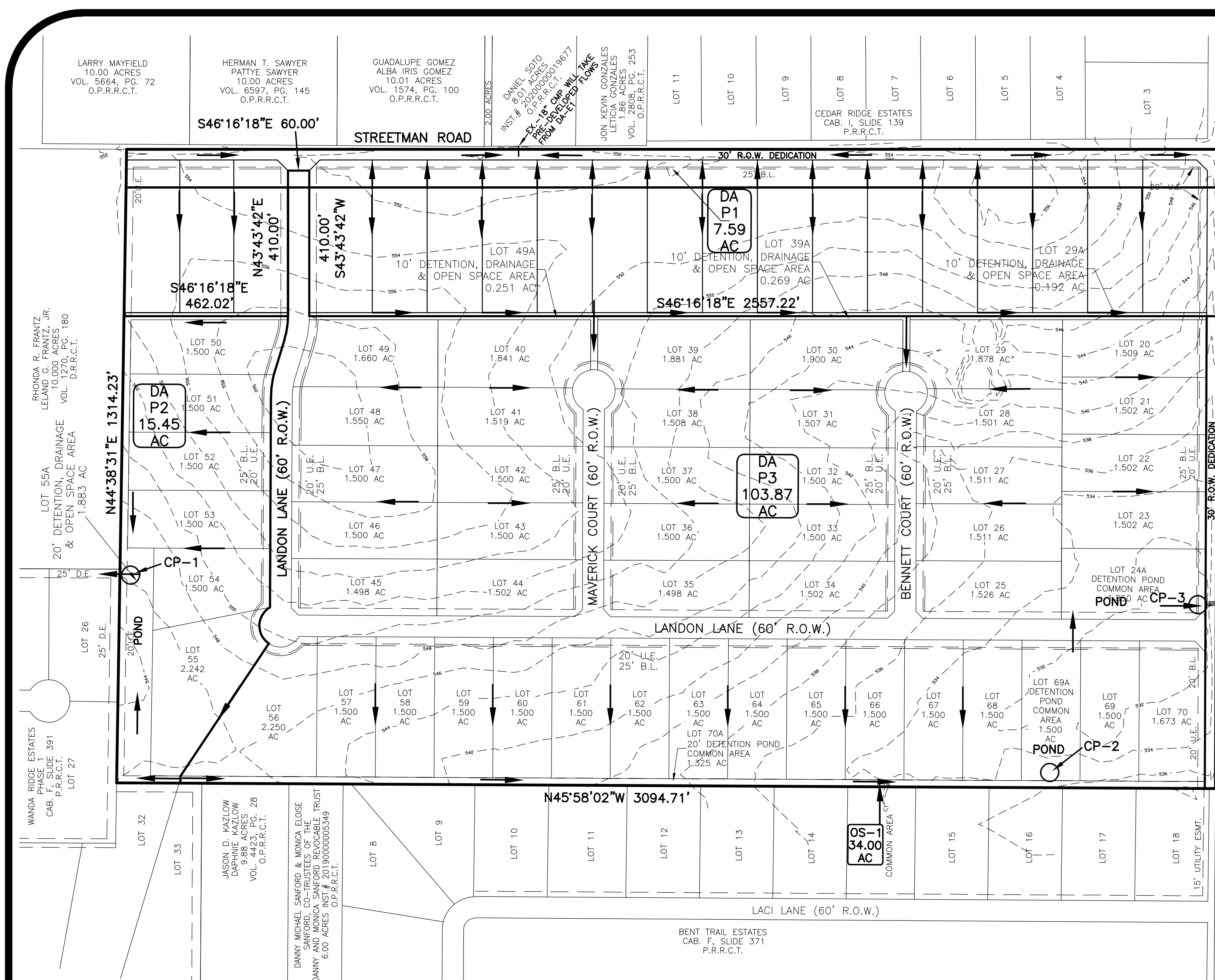
○ - PROPOSED FIRE HYDRANT



PRELIMINARY WATER PLAN			
Case No.: P2021-036			
THE LONDON PHASE TWO			
CARROLL CONSULTING GROUP, INC.			
P.O. BOX 11 PHONE: (972) 742-4411 TBPELS REG NO. F-21608 LAVON, TEXAS 75166 TEXAS FIRM REGISTRATION NO.: 10007200			
DWG:	DATE:	SCALE:	DRAWN BY:
THE LONDON-2	JULY 8, 2021	1"=100'	CP

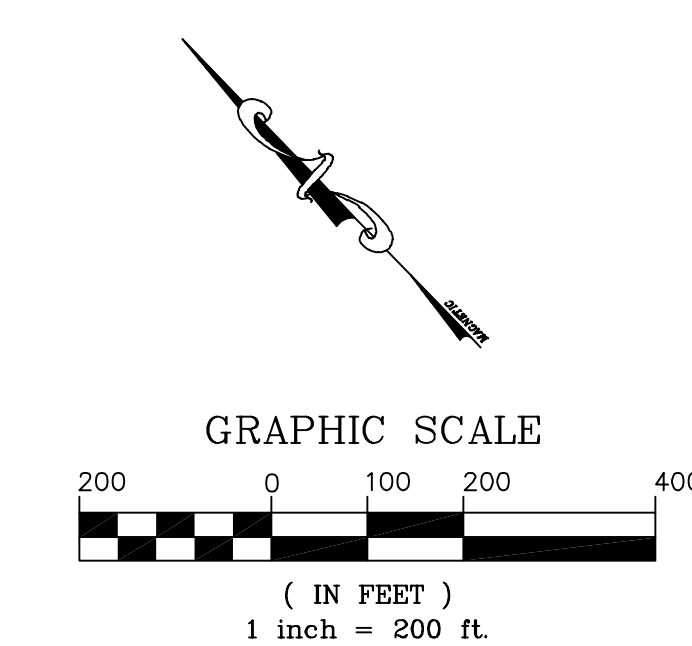
2

PROPOSED DRAINAGE AREAS

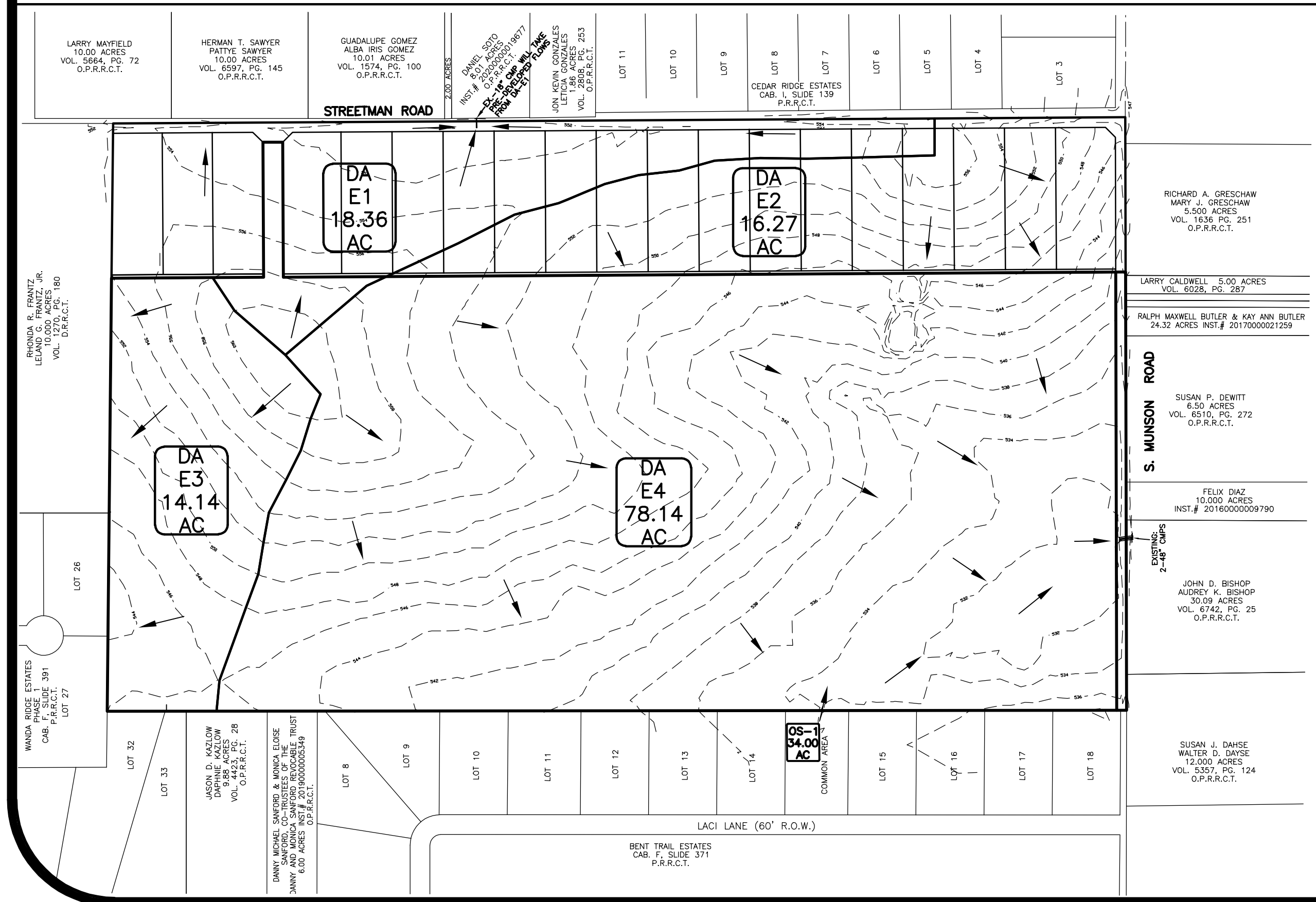


PROPOSED DRAINAGE AREAS				
Tc = 10 min.				
DA	ACRES	C	I100	Q100 cfs
DA-P1	7.59	0.500	9.80	37.19
DA-P2	15.45	0.500	9.80	75.71
DA-P3	103.87	0.500	9.80	508.96
OS-1	34.00	0.500	9.80	166.60
TOTALS	160.91			788.46

NOTES				
DA-P1	7.59	0.500	9.80	37.19
DA-P2	15.45	0.500	9.80	75.71
DA-P3	103.87	0.500	9.80	508.96
OS-1	34.00	0.500	9.80	166.60
DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD				
DRAINS TO CP-1, POND				
DRAINS TO CP-3, POND TO 2-48" RCPS				
DRAINS TO PR-3, SWALE TO CP-2, POND				

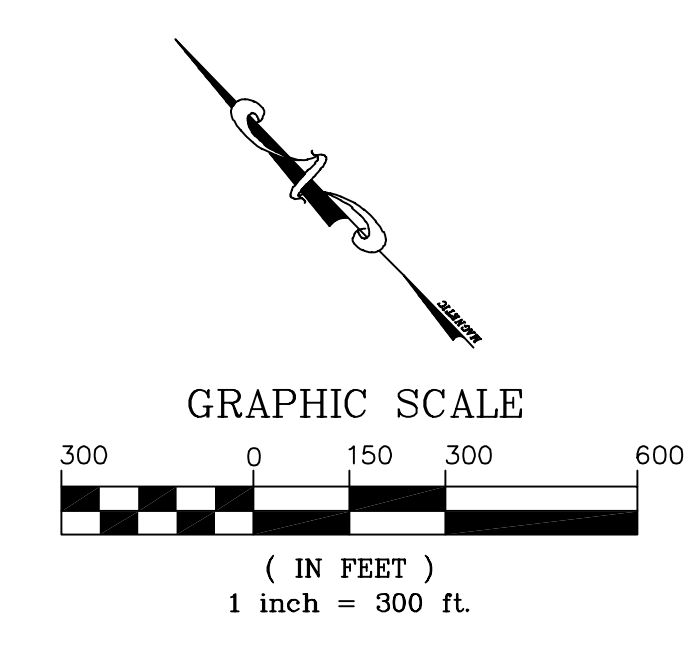


EXISTING DRAINAGE AREAS



EXISTING DRAINAGE AREAS				
Tc = 20 min.				
DA	ACRES	C	I100	Qcfs
DA-E1	18.36	0.350	8.30	53.34
DA-E2	16.27	0.350	8.30	47.26
DA-E3	14.14	0.350	8.30	41.08
DA-E4	78.14	0.350	8.30	227.00
OS-1	34.00	0.500	9.80	166.60
TOTALS	160.91			535.27

NOTES				
DA-E1	18.36	0.350	8.30	53.34
DA-E2	16.27	0.350	8.30	47.26
DA-E3	14.14	0.350	8.30	41.08
DA-E4	78.14	0.350	8.30	227.00
OS-1	34.00	0.500	9.80	166.60
DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD				
SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S				
SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S				
SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S				
OUTFALL STRUCTURE DRAINS OUT TO 2-48" R.C.P.S.				



PRELIMINARY DRAINAGE PLAN

Case No.: P2021-036

THE LANDON PHASE TWO

CARROLL CONSULTING GROUP, INC.

P.O. BOX 11 PHONE: (972) 742-4411 TBPELS REG NO. F-21608
LAVON, TEXAS 75166 TEXAS FIRM REGISTRATION NO.: 10007200

DWG:	DATE	SCALE:	DRAWN BY:
THE LANDON-2	JULY 8, 2021	1"=200' & 300'	CP

3

BOUNDARY CLOSURE REPORT
THE STANDARDS PHASE TWO

North: 7011291.8159' East: 2639109.3613'

Segment #1 : Line

Course: N45° 58' 01.51"W Length: 3094.714'
North: 7013442.8633' East: 2636884.4456'

Segment #2 : Line

Course: N44° 38' 31.33"E Length: 1314.227'
North: 7014377.9499' East: 2637807.9204'

Segment #3 : Line

Course: S46° 16' 18.09"E Length: 462.018'
North: 7014058.5848' East: 2638141.7865'

Segment #4 : Line

Course: N43° 43' 41.91"E Length: 410.000'
North: 7014354.8613' East: 2638425.1947'

Segment #5 : Line

Course: S46° 16' 18.09"E Length: 60.000'
North: 7014313.3870' East: 2638468.5523'

Segment #6 : Line

Course: S43° 43' 41.91"W Length: 410.000'
North: 7014017.1104' East: 2638185.1441'

Segment #7 : Line

Course: S46° 16' 18.09"E Length: 2557.215'
North: 7012249.4623' East: 2640033.0534'

Segment #8 : Line

Course: S43° 57' 57.75"W Length: 1330.523'
North: 7011291.8166' East: 2639109.3619'

Perimeter: 9638.696' Area: 4106540.55 Sq.
Ft.

Error Closure: 0.0009 Course: N39° 10'
00.77"E

Error North: 0.00070 East: 0.00057

Precision 1: 10709663.333



MEMORANDUM

TO: Mary Smith, Interim City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: July 19, 2021

SUBJECT: Z2021-020; SPECIFIC USE PERMIT (SUP) FOR A CHURCH/HOUSE OF WORSHIP AT 1500 SUNSET HILL DRIVE

Attachments

Case Memo
Development Application
Location Map
HOA Notification Map
Neighborhood Notification Email
Property Owner Notification Map
Property Owner Notification List
Public Notice
Property Owner Notifications
Concept Plan
Legal Description
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by St. Benedict's Anglican Church on behalf of Brett Hall for the approval of an ordinance for a *Specific Use Permit (SUP)* allowing a *House of Worship* on a 7.45-acre tract of land identified as Tract 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, 1500 Sunset Hill Drive, and take any action necessary (1st Reading).

Action Needed

The City Council is being asked to approve, approve with condition, or deny the *Specific Use Permit*.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: July 19, 2021
APPLICANT: Dub Douphrate; *St. Benedict's Anglican Church*
CASE NUMBER: Z2021-020; *Specific Use Permit (SUP) for a Church/House of Worship at 1500 Sunset Hill Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by St. Benedict's Anglican Church on behalf of Brett Hall for the approval of a *Specific Use Permit (SUP)* for a *House of Worship* on a 7.45-acre tract of land identified as Tract 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, 1500 Sunset Hill Drive, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on June 20, 1959 by *Ordinance No. 59-02*. Based on the City's historic zoning maps the subject property was rezoned from a Single-Family 2 (SF-2) District to a Single-Family 10 (SF-10) District at some point between January 3, 1972 and May 16, 1983. According to the Rockwall Central Appraisal District (RCAD), the existing home was constructed in 1955, with the addition of a detached garage, carport, and balcony in 1969. The subject property is identified as Tracts 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey, Abstract No. 98, and is comprised of a total of 7.45-acres.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) to allow for a *Church/House of Worship* on the subject property in accordance with the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 1500 Sunset Hill Drive. The land uses adjacent to the subject property are as follows:

North: Directly north, and adjacent to, the subject property is the Northshore, Phase 2 Subdivision -- *which is zoned Single-Family 10 (SF-10) District* --, and The Preserve, Phase 2 Subdivision -- *which is zoned Planned Development District No. 41 (PD-41)*. Both of these subdivisions are zoned for single-family district land uses and combine for a total of 158 lots. Beyond this is a continuation of Planned Development District 11 (PD-11) and Planned Development District 41, which are single-family residential subdivisions, and being identified as Hillcrest Shores, Phase 2 Subdivision (PD-11) and The Preserve, Phase 1 Subdivision (PD-41) Subdivisions. Both of these Planned Development Districts have incorporated an underlying zoning of Single-Family 10 (SF-10) District.

South: Directly south, and adjacent to, the subject property is the Northshore, Phase 2A Subdivision and the Hairston Addition which are zoned Single-Family 10 (SF-10) District. Both of these subdivisions are zoned for single-family district land uses, and combine for a total of 45 lots. Beyond this is N. Lakeshore Drive, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 3.036-acre tract of land identified as Tract 1 of the A. Hanna Survey, Abstract No. 98 and W. B. Bowles Survey, Abstract No. 12, and contains a single-family home. East of and adjacent to this property is a 7.235-acre tract of land identified as Tract 2, W. B. Bowles Survey, Abstract No. 12, and contains a single-family home. Beyond this are the Pinnacle, Phase 1 and Pinnacle, Phase 2 Subdivisions, which are zoned Single-Family 10 (SF-10) District.

West: Directly west of the subject property is N. Lakeshore Drive, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this a continuation of the Northshore Phase 2B Subdivision. This property is zoned Single-Family 10 (SF-10) District. Continuing west is the City of Dallas Takeline, followed by Lake Ray Hubbard.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application and concept plan depicting the layout for a *Church/House of Worship* on the subject property. Based on the concept plan, the existing home will be renovated to accommodate the proposed *Church/House of Worship*. The concept plan indicates the provision of a 24-foot *Firelane and Access Easement* via N. Lakeshore Drive, the removal of the garage, and will include 41 parking spaces during the first phase of the development. It should be noted that a *Church/House of Worship* requires a minimum of one (1) parking space for every four (4) seats (*i.e. 1:4 ratio*) in the assembly room. Additionally, the applicant intends to incorporate a three (3)-tiered screening along the rear (*i.e. north*) and east property lines and include headlight screening for the parking spaces. This will provide screening of the use from the residential neighborhood (*i.e. Northshore, Phase 2, and The Preserve, Phase 2*). The future expansion of the facility will include the extension of 24-foot *Firelane and Access Easement* with a turn-a-round, additional parking spaces, future chapel, and a water feature. The landscape/screening for the subject property will be considered at the time of site plan.

CONFORMANCE TO THE CITY'S CODES

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Church/House of Worship* requires a Specific Use Permit (SUP) in the Single-Family 10 (SF-10) District. Due to the subject property's proximity to single-family residential developments (*i.e. Northshore and The Preserve Additions*), the proposed *Church/House of Worship* will require screening from the adjacent residential neighborhoods. According to Subsection 05.02(B), *Screening from Residential*, of Article 08, *Landscape and Screening*, of the Unified Development Code (UDC), "(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers...As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (*i.e. [1] small to mid-sized shrubs, large shrubs or accent trees, and canopy trees or [2] evergreen trees and canopy trees*) along the entire length of the adjacency...The canopy trees shall be placed on 20-foot centers." Additionally, according to Subsection 05.02(C), *Headlight Screening*, of Article 08, *Landscape and Screening*, of the Unified Development Code (UDC) states "(h)ead-in parking adjacent to a street shall incorporate one (1) of the following screening methods to mitigate the potential hazard that headlights may pose for on-street vehicular traffic: [1] Alternative #1. A minimum of a two (2) foot berm with mature evergreen shrubs along the entire adjacency of the parking areas, or [2] Alternative #2. A minimum of a three (3) foot masonry wall with mature shrubs situated between the wall and the right-of-way along the entire adjacency of the parking areas." In this case, the applicant's concept plan indicates the provision of a live landscape screen along the perimeter of the rear (*i.e. north*) and east property lines, and will provide headlight screening adjacent to the parking spaces. The alternative screening method is discretionary to the Planning and Zoning Commission.

STAFF ANALYSIS

The intent of the Single-Family 10 (SF-10) District is the appropriate zoning classification for single-family developments with medium sized lots. This zoning district also accommodates public land uses, denominational and private schools, churches, and public/private parks essential to creating the basic neighborhood unit. These developments are typically in areas buffered from non-residential land uses, and where they will serve as a logical transition from higher to lower density residential zoning districts. In this case, the proposed church facility will have residential on all sides of the subject property. With all of this being said, any request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On June 30, 2021, staff mailed 126 notices to property owners and residents within 500-feet of the subject property. Staff also notified the Hillcrest at the Shores, The Preserve, and the Lakeview Summit Homeowner's Association (HOA), which are the only Homeowner's Associations (HOA's)/Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following 13 notifications (*i.e.* 12 opposed and one [1] undecided) regarding the request:

- (1) Three (3) property owner notifications from property owners within the notification area (*i.e.* within the 500-foot buffer) opposed to the applicant's request.
- (2) One (1) email from a property owner within the notification area (*i.e.* within the 500-foot buffer) opposed to the applicant's request.
- (3) One (1) input form from the Planning and Zoning Department's portal from a property owner within the notification area (*i.e.* within the 500-foot buffer) opposed to the applicant's request.
- (4) One (1) email from a property owner within the notification area (*i.e.* within the 500-foot buffer) that is undecided w the applicant's request.
- (5) Two (2) emails from property owners outside of the notification area (*i.e.* outside of the 500-foot buffer) opposed to the applicant's request.
- (6) Five (5) input forms from the Planning and Zoning Department's portal from property owners outside the notification area (*i.e.* outside of the 500-foot buffer) opposed to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Church/House of Worship* on the subject property, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The *Church/House of Worship* facility shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Any changes or additions to the exterior of the existing structures or the addition of new structures shall be required to be reviewed by the Architectural Review Board (ARB) and approved by the Planning and Zoning Commission.
 - (c) Headlight screening shall be incorporated adjacent to the parking areas indicated in the *Concept Plan* depicted in *Exhibit 'B'* of the draft ordinance.
 - (d) Three (3) tiered screening (*i.e.* small to mid-sized shrubs, large shrubs or accent trees, and canopy trees) shall be incorporated adjacent to the northern and eastern property lines of the subject property generally as depicted on the *Concept Plan* in *Exhibit 'B'* of the draft ordinance.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On July 13, 2021, the Planning and Zoning Commission approved a motion to approve the Specific Use Permit (SUP) for a *Church/House of Worship* on the subject property with the conditions of approval by a vote of 5-1, with Commissioner Chodun dissenting, and Commissioner Deckard absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-02B

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	<u>1500 Sunset Hill</u>		
SUBDIVISION	<u>Northshore</u>	LOT	BLOCK
GENERAL LOCATION	<u>1500 Sunset Hill</u>		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	<u>R-10</u>	CURRENT USE	<u>Residential</u>
PROPOSED ZONING	<u>SUP</u>	PROPOSED USE	<u>Church</u>
ACREAGE	<u>7.43</u>	LOTS [CURRENT]	LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Brett Hall</u>	<input checked="" type="checkbox"/> APPLICANT	<u>St. Benedict's Anglican Church</u>
CONTACT PERSON	<u>individually and on behalf of the heirs of Ralph Hall</u>	CONTACT PERSON	<u>Dub Douphrate</u>
ADDRESS	<u>2710 Whispering Oaks - RW, TX</u>	ADDRESS	<u>2235 Ridge Rd</u>
CITY, STATE & ZIP	<u>Rockwall TX 75087</u>	CITY, STATE & ZIP	<u>Rockwall TX 75087</u>
PHONE	<u>214-354-9149</u>	PHONE	<u>972 771 9004</u>
E-MAIL		E-MAIL	<u>wldouphrate@douphrate.com</u>

NOTARY VERIFICATION [REQUIRED]

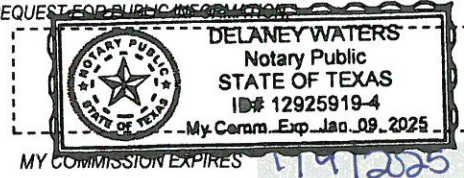
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Brett Hall [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

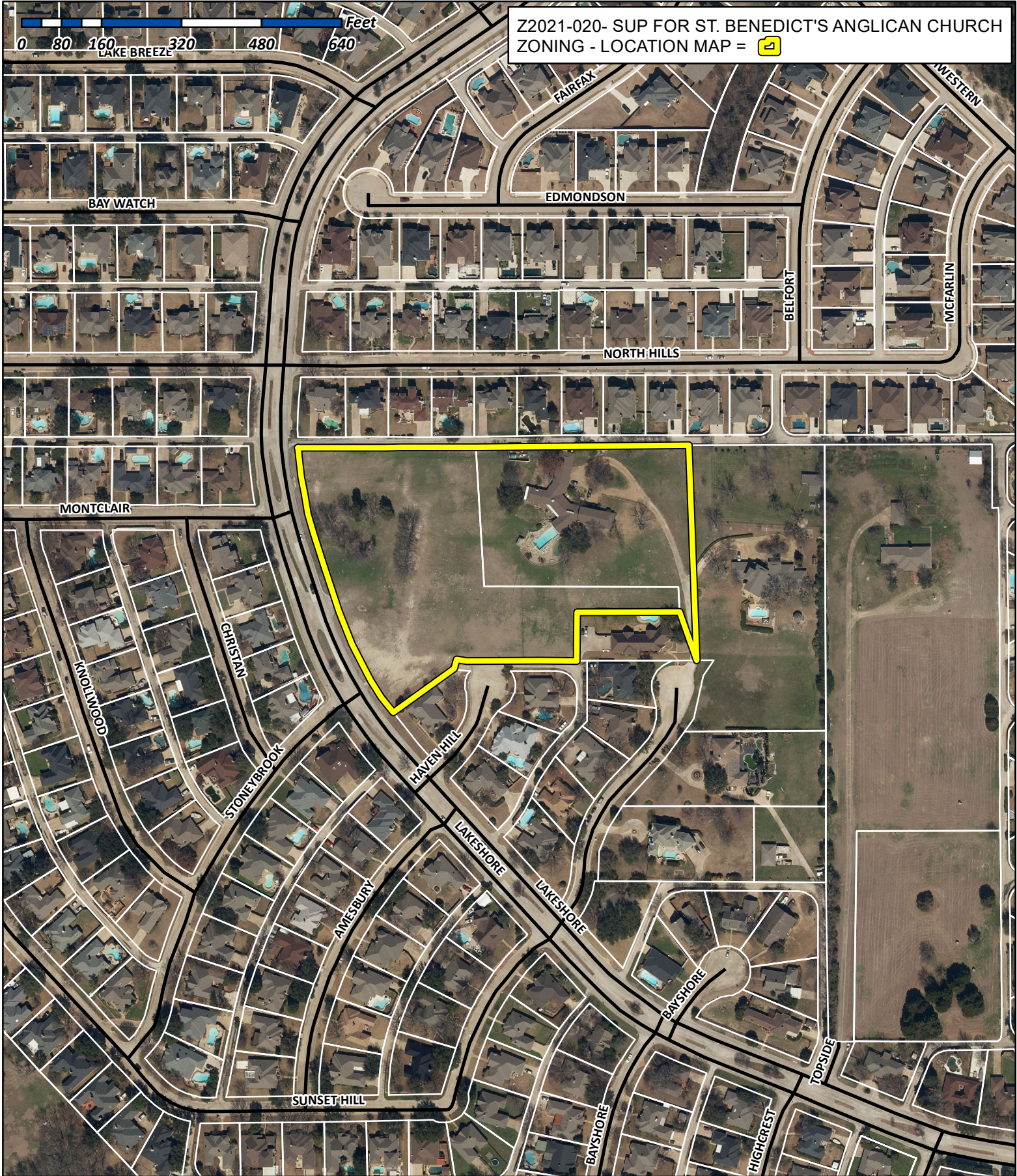
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 2 DAY OF May, 2021.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





Z2021-020- SUP FOR ST. BENEDICT'S ANGLICAN CHURCH
 ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

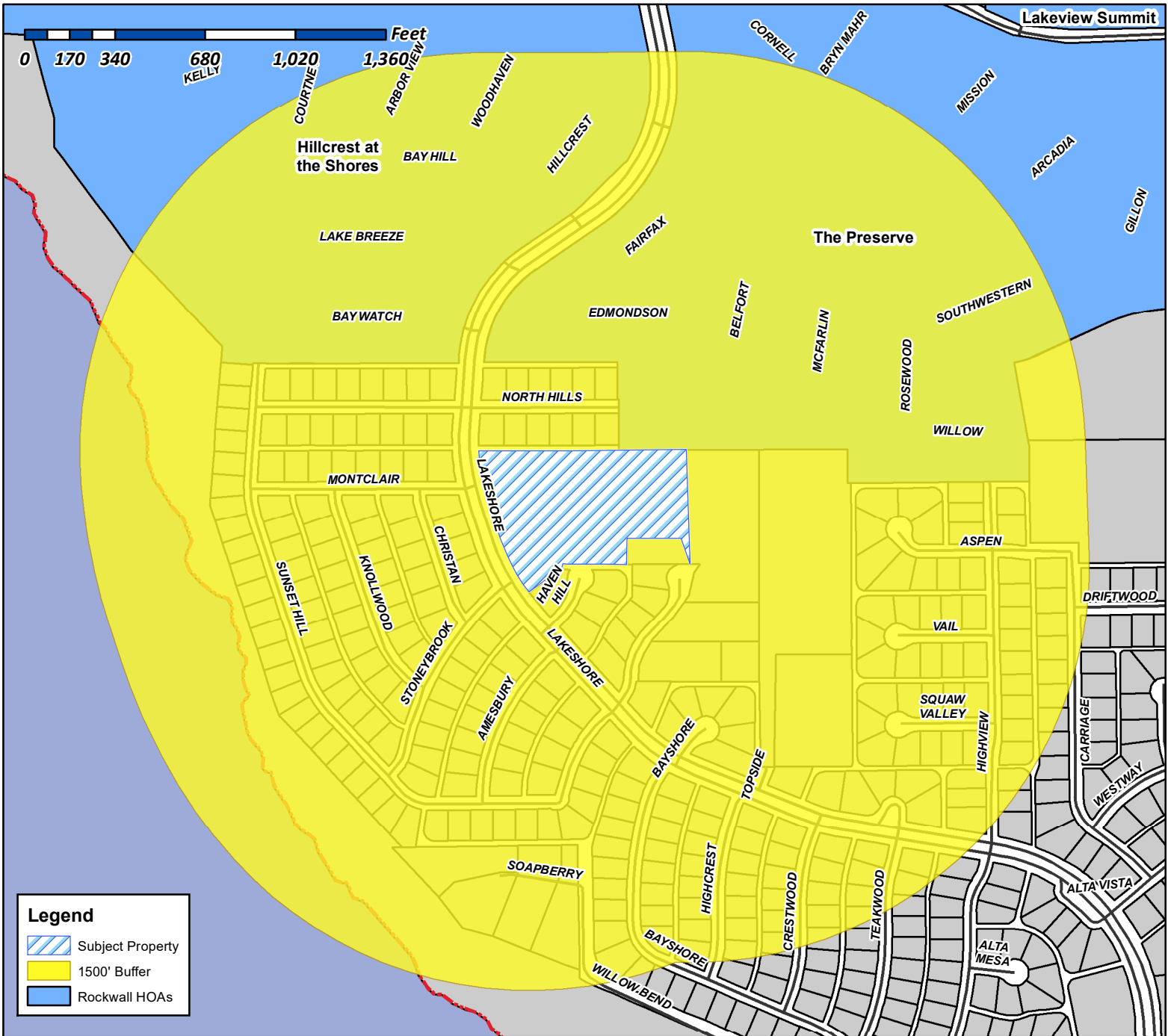




City of Rockwall

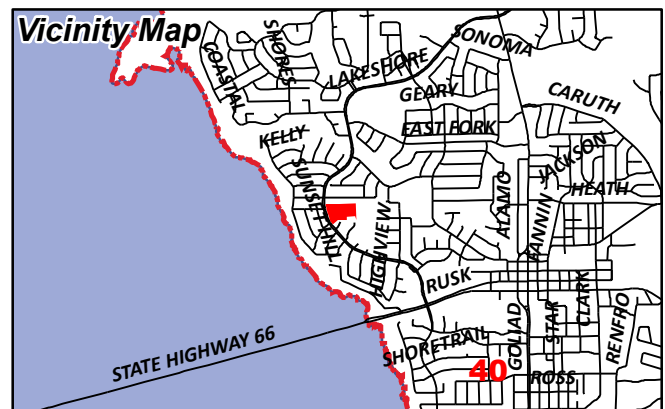
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2021-020
Case Name: SUP for a House of Worship
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 1500 Sunset Hill Drive

Date Created: 6/23/2021
 For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2021-020]
Date: Monday, June 28, 2021 4:53:47 PM
Attachments: [Public Notice \(06.28.2021\).pdf](#)
[HOA Map Z2021-020.pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on [June 25, 2021](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, July 13, 2021 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, July 19, 2021 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-020 SUP for a House of Worship

Hold a public hearing to discuss and consider a request by St. Benedict's Anglican Church on behalf of Brett Hall for the approval of a [Specific Use Permit \(SUP\)](#) for a House of Worship on a 7.45-acre tract of land identified as Tract 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, 1500 Sunset Hill Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

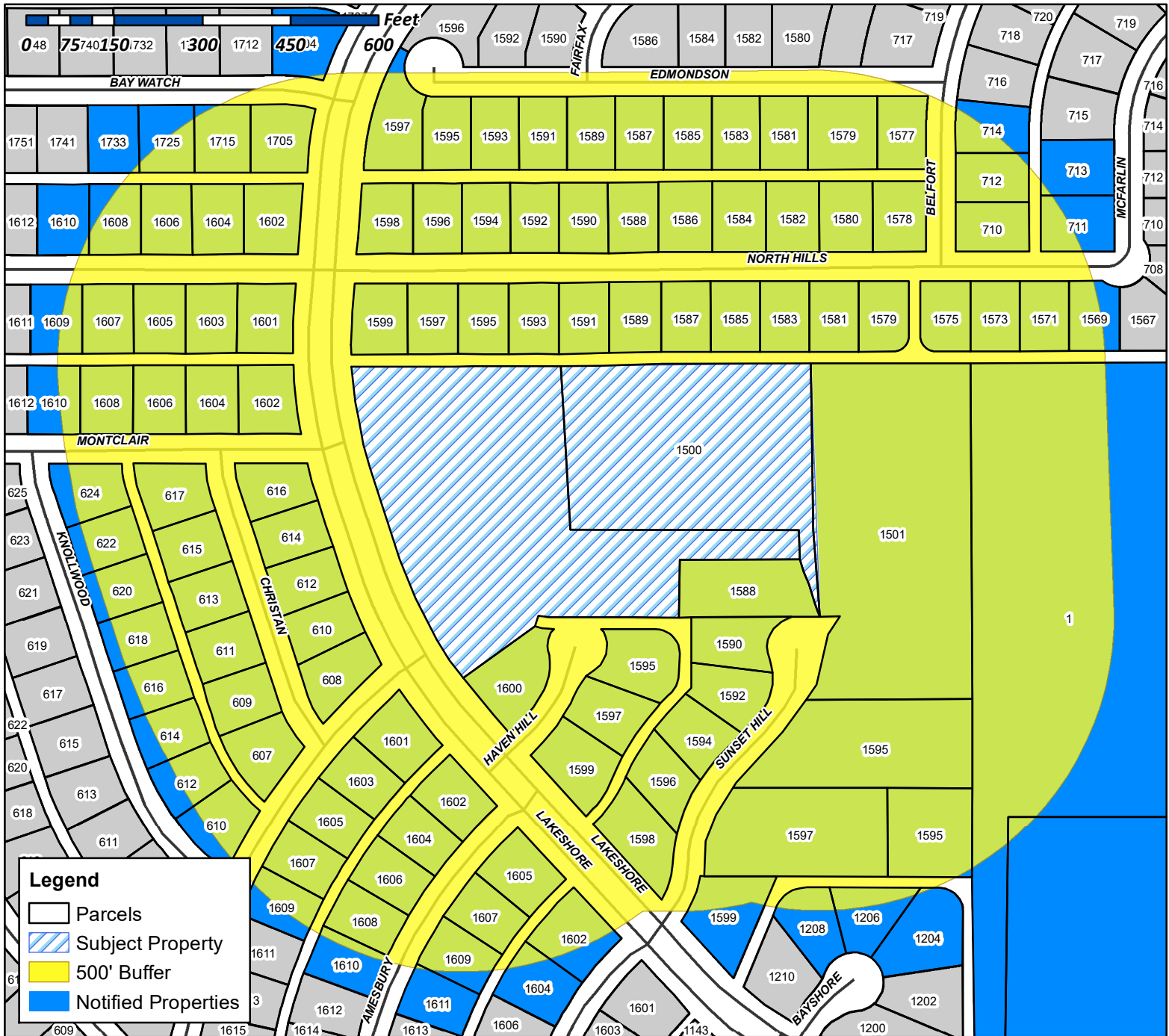
<http://www.rockwall.com/planning/>



City of Rockwall

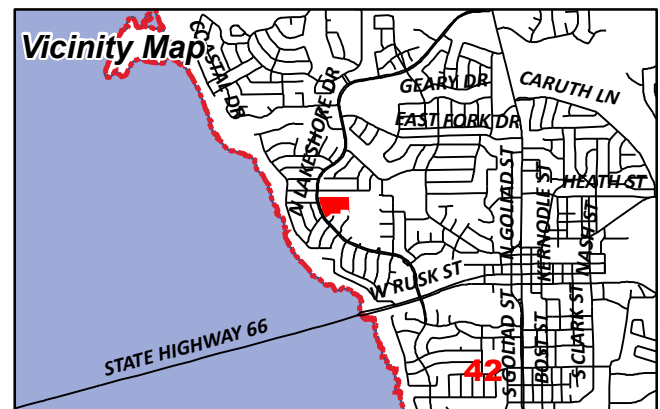
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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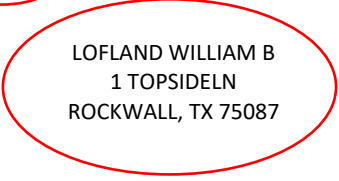


Case Number: Z2021-020
Case Name: SUP for a House of Worship
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 1500 Sunset Hill Drive

Date Created: 6/23/2021
For Questions on this Case Call (972) 771-7745



 = RESPONSE RECEIVED

 LOFLAND WILLIAM B
1 TOPSIDELN
ROCKWALL, TX 75087

LOFLAND WILLIAM B
105 E KAUFMAN ST
ROCKWALL, TX 75087

CHANDLER PIERCE L JR ETUX
1204 BAYSHORE DR
ROCKWALL, TX 75087

KESHMIRI CYRUS HOMAN & NATASHA KIM
1206 BAYSHORE DRIVE
ROCKWALL, TX 75087

MESSIMER SETH AND JENNY
1208 BAYSHORE DR
ROCKWALL, TX 75087

HALL RALPH H AND
BRETT A HALL AND J BLAKEKEY HALL
1500 SUNSET HILLDR
ROCKWALL, TX 75087

COBLE JOHN D DR & PATRICIA P
1501 SUNSET HILL DR
ROCKWALL, TX 75087

BAUER SCOTT J AND CARLA G
1569 NORTH HILLS DR
ROCKWALL, TX 75087

CHANEY CHARLES & PAMELA
1571 NORTH HILLS DRIVE
ROCKWALL, TX 75087

MAXON JOSHUA DAVID & LAUREN OPENSHAW
1573 N HILLS DR
ROCKWALL, TX 75087

BACH DAVID M AND BETHANY N
1575 NORTH HILLS DR
ROCKWALL, TX 75087

MASLO PAUL B AND MIHUI LAURA KIM
1577 EDMONDSON TR
ROCKWALL, TX 75087

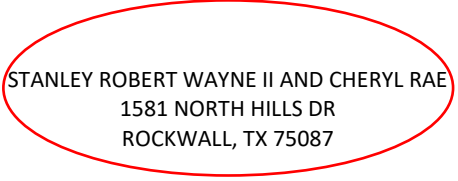
ALVARADO GARY AND MARIA
1578 NORTH HILLS DR
ROCKWALL, TX 75087

MACDONALD AMY A AND MICHAEL C
1579 EDMONDSON TR
ROCKWALL, TX 75087

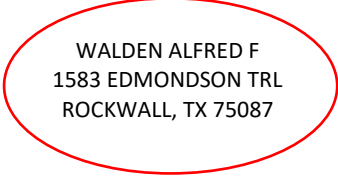
McCLENDON PAULA S
1579 N HILLS DRIVE
ROCKWALL, TX 75087

COOPER TRAVIS AND MICHELLE
1580 NORTH HILLS DR
ROCKWALL, TX 75087

PENNINGTON MICHAEL AND IVY R
1581 EDMONDSON TRAIL
ROCKWALL, TX 75087

 STANLEY ROBERT WAYNE II AND CHERYL RAE
1581 NORTH HILLS DR
ROCKWALL, TX 75087

BUCKNER GARY
1582 NORTH HILLS DRIVE
ROCKWALL, TX 75087

 WALDEN ALFRED F
1583 EDMONDSON TRL
ROCKWALL, TX 75087

ORTIZ MIGUEL & CIARA
1583 N HILLS DR
ROCKWALL, TX 75087

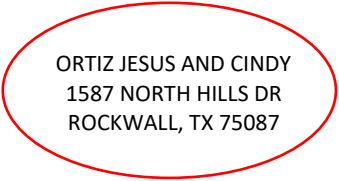
WHITE TODD E AND PAIGE LEIGH
1584 NORTH HILLS DR
ROCKWALL, TX 75087

COSKUN HASAN & SIBEL COSKUN
1585 EDMONDSON TRL
ROCKWALL, TX 75087

ALDRICH KEVIN JAMES & DOTTIE R
1585 NORTH HILLS DRIVE
ROCKWALL, TX 75087

STEWART CANDY MARIE & BENJAMIN EARL
1586 NORTH HILLS DRIVE
ROCKWALL, TX 75087

OWEN ALLEN J & JESICA L
1587 EDMONDSON TRAIL
ROCKWALL, TX 75087

 ORTIZ JESUS AND CINDY
1587 NORTH HILLS DR
ROCKWALL, TX 75087

BEAUBIEN ALAN AND
REVI MENASCHE
1588 NORTH HILLSDR
ROCKWALL, TX 75087

BANAN SAEED & SANDRE
1588 SUNSET HILL DR
ROCKWALL, TX 75087

MUKTAR JEMIL M
1589 EDMONDSON TR
ROCKWALL, TX 75087

ANDERSON JAMES R & E GAY
1589 N HILLS DR
ROCKWALL, TX 75087

KELLY JAMES D & SARA SOLIS
1590 N HILLS DR
ROCKWALL, TX 75087

ANDERSON JASON & KELLY
1590 SUNSET HILL DRIVE
ROCKWALL, TX 75087

CRUZ JUAN G AND MARIA D
1591 EDMONDSON TRACE
ROCKWALL, TX 75087

PARAMOUNT LAURELS LLC
1591 NORTH HILLSDR
ROCKWALL, TX 75087

FIDGER REVOCABLE LIVING TRUST
BRIAN FIDGER - TRUSTEE
1592 NORTH HILLS
ROCKWALL, TX 75087

BASSETT BRAD E & STACY R
1592 SUNSET HILL DR
ROCKWALL, TX 75087

MCCOY ELI AND
TAMMIE BROWN
1593 EDMONSON TRAIL
ROCKWALL, TX 75087

FRAGA JAVIER SANTOS
1593 NORTH HILLS DR
ROCKWALL, TX 75087

SANDERS JERRY W & MARINA
1594 N HILLS DR
ROCKWALL, TX 75087

TURNER KYLE R AND
ROGER D TURNER
1594 SUNSET HILLDR
ROCKWALL, TX 75087

GROOVER ANTHONY AND DONNA MARRIE
1595 EDMONDSON TR
ROCKWALL, TX 75087

GONZALES JAMES E & DEENA L
1595 HAVEN HILL CT
ROCKWALL, TX 75087

SAMRA ISSAM F & REEM M ABOU-SAMRA
1595 N HILLS DR
ROCKWALL, TX 75087

LANSING RONALD DOUGLAS
1595 SUNSET HILL DR
ROCKWALL, TX 75087

LUSTIK KENNETH & ROBERT HOPSON
1596 N HILLS DR
ROCKWALL, TX 75087

STACY JEFFREY B
1596 SUNSET HILL DR
ROCKWALL, TX 75087

JONES LALANII
1597 EDMONDSON TRAIL
ROCKWALL, TX 75087

LANGFORD DAVID NEIL AND MELANIE HILBERT
1597 HAVEN HILL COURT
ROCKWALL, TX 75087

SHEEHAN JAMES C & JULIA
1597 N HILLS DR
ROCKWALL, TX 75087

SPARKS JOHN & MARIA
1597 SUNSET HILL DR
ROCKWALL, TX 75087

RUSSELL ALAN DUANE
1598 NORTH HILLS DR
ROCKWALL, TX 75087

WILSON DOUGLAS L AND DANA J
1598 SUNSET HILL DR
ROCKWALL, TX 75087

VILLAPANDO ANTONIO & MARIA
1599 HAVEN HILL CT
ROCKWALL, TX 75087

COWAN JOHN CAMERON AND KATHLEEN
VANWAGNER
1599 NORTH HILLS DR
ROCKWALL, TX 75087

CHAPMAN DIANA STEGER
1599 SUNSET HILL DR
ROCKWALL, TX 75087

JONES JOHNNY DEWAYNE & MARTHA A
1600 N LAKESHORE DRIVE
ROCKWALL, TX 75087

TUNKS TERRY AND ELIZABETH
1601 N HILLS DR
ROCKWALL, TX 75087

CLARK GERALD B ETUX
1601 STONEYBROOK DR
ROCKWALL, TX 75087

ORTIZ SAM J & ADELLA J
1602 AMESBURY LN
ROCKWALL, TX 75087

SAMPSON DEAN & BARBARA KELLUM
1602 MONTCLAIR DR
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
1602 NORTH HILLSDR
ROCKWALL, TX 75087

EK REAL ESTATE SERVICES OF NY LLC
1602 SUNSET HILLDR
ROCKWALL, TX 75087

CONFIDENTIAL
1603 NORTH HILLS DRIVE
ROCKWALL, TX 75087

SAENZ DIANA GONZALEZ
1603 STONEYBROOK DR
ROCKWALL, TX 75087

STEWART KAREN IRENE WILLIAMS
1604 AMESBURY LN
ROCKWALL, TX 75087

PHILIPS PAUL AND PATRA M
1604 MONTCLAIR ST
ROCKWALL, TX 75087

KLUTTS BEN A JR & JULIE C
1604 N HILLS DR
ROCKWALL, TX 75087

STIEGELMAR RICHARD AND
STIEGELMAR JACK
1604 SUNSET HILLDR
ROCKWALL, TX 75087

MCINTIRE PRESTON G AND SANDY M LOMELI
1605 AMESBURY LANE
ROCKWALL, TX 75087

CLARK LUTHER A ETUX
1605 N HILLS DR
ROCKWALL, TX 75087

GRAY LISA MICHELE
1605 STONEYBROOK DRIVE
ROCKWALL, TX 75087

POWERS LISA A AND ROBERT H
1606 AMESBURYLN
ROCKWALL, TX 75087

JISTEL MICHAEL & SABRA
1606 MONTCLAIR DR
ROCKWALL, TX 75087

WATSON MATTHEW W & JAMIE D
1606 NORTH HILLS DRIVE
ROCKWALL, TX 75087

JOHNSTON ALTON W & PEGGY F
1607 AMESBURY LN
ROCKWALL, TX 75087

STARR RICHARD AND KATRINA STARR
1607 NORTH HILLS DRIVE
ROCKWALL, TX 75087

SHIELDS CHARLENE
1607 STONEYBROOK DRIVE
ROCKWALL, TX 75087

BURTON DAVID A & MARY KAY
1608 AMESBURY LN
ROCKWALL, TX 75087

BOULLION PAMELA S TOPPER
1608 MONTCLAIR DR
ROCKWALL, TX 75087

CONNALLY DAVID & VICKIE
1608 N HILLS DR
ROCKWALL, TX 75087

ADAMS BRAD AND KASHA
1609 AMESBURY
ROCKWALL, TX 75087

BENAVIDES JORGE
1609 NORTH HILLS DR
ROCKWALL, TX 75087

CASE DAVID L ETUX
1609 STONEYBROOK DR
ROCKWALL, TX 75087

TUCKER EARL W & MELINDA K
1610 AMESBURY LN
ROCKWALL, TX 75087

TOCHKOV KIRIL AND KARIN
1610 MONTCLAIR DR
ROCKWALL, TX 75087

CONFIDENTIAL
1610 NORTH HILLS DRIVE
ROCKWALL, TX 75087

SCAMPERINO CHARLES AND
BRIDGETT AND COOPER
1611 AMESBURY LANE
ROCKWALL, TX 75087

JOHNSON CLARENCE R & CASANDRA L
1704 BAY WATCH DR
ROCKWALL, TX 75087

LYNCH CHRISTOPHER J
1705 BAY WATCH DRIVE
ROCKWALL, TX 75087

WHITAKER MARTIN & DORIS
1715 BAY WATCH DR
ROCKWALL, TX 75087

HIETBRINK BERNARD D & MELISSA L
1725 BAY WATCH DR
ROCKWALL, TX 75087

WHALIN GREGORY L & TERRI B
1733 BAY WATCH DR
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

POWERS LISA A AND ROBERT H
2039 MORNING DOVE ST
SAN ANTONIO, TX 78232

HALL RALPH H AND
BRETT A HALL AND J BLAKEKEY HALL
207 EAST RUSK
ROCKWALL, TX 75087

EK REAL ESTATE SERVICES OF NY LLC
215 PARK AVENUE SOUTH SUITE 1713
NEW YORK, NY 10003

BEAUBIEN ALAN AND
REVI MENASCHE
2438 ADAMS STREET
HOLLYWOOD, FL 33020

TURNER KYLE R AND
ROGER D TURNER
520 MORAIN WAY
HEATH, TX 75032

GRAVES QING YUE
607 CHRISTIAN CT
ROCKWALL, TX 75087

GOODRICH GLENN W JR & KELLYE JAYE
608 CHRISTAN CT
ROCKWALL, TX 75087

GALLOWAY PRESTON AND BRITTANY
609 CHRISTAN COURT
ROCKWALL, TX 75087

SANTOS JUAN S AND TINA M
610 CHRISTIAN CT
ROCKWALL, TX 75087

TORKELSON KELLY L & STEVEN A
610 KNOLLWOOD DR
ROCKWALL, TX 75087

MOORE VELVET AND DANIEL
611 CHRISTIAN CT
ROCKWALL, TX 75087

STEWART-JOHNSON LOIS DIANNE
612 CHRISTAN CT
ROCKWALL, TX 75087

ELLIS TEX W & MONA E
612 KNOLLWOOD DRIVE
ROCKWALL, TX 75087

DYLONG RONALD C & PAULA S
613 CHRISTANCT
ROCKWALL, TX 75087

CARTER KAREN
614 CHRISTAN COURT
ROCKWALL, TX 75087

BLAKE DAVID G & SARAH E
614 KNOLLWOOD DRIVE
ROCKWALL, TX 75087

DEFEBAUGH CONNOR AND KELSEY BYRNES
615 CHRISTIAN COURT
ROCKWALL, TX 75087

HARMON ROBERT R & KIMBERLY
616 CHRISTAN CT
ROCKWALL, TX 75087

ETTER CHARLES W & LINDA L
616 KNOLLWOOD DR
ROCKWALL, TX 75087

GRIFFIN BILLY G AND PATRICIA L
617 CHRISTAN CT
ROCKWALL, TX 75087

ALVAREZ CHRISTINA & LEROY
618 KNOLLWOOD DR
ROCKWALL, TX 75087

DYLONG RONALD C & PAULA S
618 SUNSET HILL DR
ROCKWALL, TX 75087

DEMEYER DANIEL T & ELAINE S
620 KNOLLWOOD DR
ROCKWALL, TX 75087

MILLER LAUREN & BARBARA REVOCALBE TRUST
LAUREN P & BARBARA E MILLER CO-TRUSTEES
622 KNOLLWOOD DR
ROCKWALL, TX 75087

EDWARDS BRYAN K & SUSAN L
624 KNOLLWOOD DR
ROCKWALL, TX 75087

STIEGELMAR RICHARD AND
STIEGELMAR JACK
7 MAGNOLIA DR
MEXICO BEACH, FL 32456

DOLAS TAMARA AND DALIBOR
710 BELFORT DR
ROCKWALL, TX 75087

VILLARREAL GONZALO FLORES AND EDITH
711 MCFARLIN PL
ROCKWALL, TX 75087

ANDERSON STEPHEN R & CHRISTINE R
712 BELFORT DRIVE
ROCKWALL, TX 75087

THOMPSON BENJAMIN
713 MCFARLIN PLACE
ROCKWALL, TX 75087

2013 ABBONDANDOLO FAMILY TRUST
714 BELFORT DR
ROCKWALL, TX 75087

PARAMOUNT LAURELS LLC
PO BOX 786
WYLIE, TX 75098

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-020: Specific Use Permit for a House of Worship

Hold a public hearing to discuss and consider a request by St. Benedict's Anglican Church on behalf of Brett Hall for the approval of a Specific Use Permit (SUP) for a House of Worship on a 7.45-acre tract of land identified as Tract 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, 1500 Sunset Hill Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 13, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 19, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 19, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-020: Specific Use Permit for a House of Worship

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

Case No. Z2021-020: Specific Use Permit for a House of Worship

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

TRAFFIC, NOISE, HAZARDOUS CONDITION WHEN 50,000 POUND
TRUCKS COME OVER THE HILL AND CARS ARE TRYING TO TURN.
MAIN ENTRANCE SHOULD NOT BE FROM LAKESHORE DR.
BECAUSE OF THE HILLS VISIBILITY IS TOO SHORT.

Name: Dean Sampson

Address: 1602 Montclair

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



PLEASE RETURN THE BELOW FORM

Case No. Z2021-020: Specific Use Permit for a House of Worship

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I live in the Preserves since 2010. The traffic has steadily increased in the ten years I've been here. A Church will only increase the daily traffic and cause more than likely the value of the homes in the immediate area to lose value. I live a block away

Name:

Dr. Alfred F. Walden

Address:

1583 Edwards Trail, Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



97

From: [Miller, Ryan](#)
To: [Gonzales, David](#)
Subject: FW: Z2021-020
Date: Monday, June 28, 2021 12:07:33 PM
Attachments: [image003.png](#)
[image004.png](#)

For your case ...

RYAN C. MILLER, AICP

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL

972.772.6441 OFFICE

RMILLER@ROCKWALL.COM

385 S. GOLIAD STREET • ROCKWALL, TX 75087

HELPFUL LINKS | [CITY OF ROCKWALL WEBSITE](#) | [PLANNING & ZONING DIVISION WEBSITE](#) | [MUNICIPAL CODE WEBSITE](#)
[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [UNIFIED DEVELOPMENT CODE](#)

NOTES

- 1) **APPOINTED AND ELECTED OFFICIALS:** BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD

From: TOWNSEND, MICHAEL <[REDACTED]>
Sent: Monday, June 28, 2021 12:06 PM
To: Miller, Ryan <RMiller@rockwall.com>
Subject: Z2021-020

I don't like it. I do not think that is a good place in the middle of a residential neighborhood for a church. I think we should keep it residential.

On another note, Its Ralph's house, it will always be Ralph's house and I don't want that to change.

I vote no on that case.

Thanks

Michael Townsend

1235 Farilakes Pointe

Rockwall, Texas 75087

On a side note. I hope all is well and they are not working you too hard. Keep up the good work, my friend.

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From: [Victoria Villapando](#)
To: [Gonzales, David](#)
Subject: 1500 Sunset Drive
Date: Tuesday, June 29, 2021 8:43:42 AM

I attended the meeting with the new owners and these are the issues I have brought up with them:

1. Once given the SUP, does the zoning change from residential? If so, then I would say NO to the special use permit. It would drop property values if the zoning is changed since in this area, it is all residential. The church which has a very limited population (as we were told-60 members). does not serve this neighborhood. If it gets sold after the church closes, either from lack of membership or from from growth, may be purchased by any other church without the need for planning or zoning again.
2. The concept use plan, does not really tell us a lot on what will be built. It is a concept which may or may not be built later on, or be changed to a bigger church, parking lot, and everything else that comes with it. I ask whether this is the best use for this land due to infrastructure in this area that is old (1980's). No sidewalks in the main road of Lakeshore. No drainage plan on Haven Hill, from that hill as it goes down the Culdesac, electric posts are old. They need to build a sidewalk in front of the property, if they are going to use it for church use. Wouldn't pedestrians have to use a sidewalk? How about lamp posts, lighting? There is a big need for upgrade on the electric poles up this hill. Oncor did one post 2-3 years ago due to some problem in the alley. But electricity here drops sometimes.
3. How will the development, impact our storm water on Haven Hill? Will the detention pond be paved? Will it carry mosquitoes? We are already having a rough time with mosquitoes in the area. Will it have steel fences to keep it from neighborhood kids playing in the area?
4. We need neighbors up this hill. I am sure they have good intentions. But at the end of the end of the day, we get to stay here because this is our home. Church members get to go back to their homes. We want permanent neighbors, and a development that will provide other avenues to the neighborhood behind us by road. Right now we have no access to roads other than Lakeshore Dr.
5. Will this SUP improve our property values, or bring down the property values?

so many unanswered question so I say No to the SUP. I would rather keep that area residential. I think that is the best use for this property.

Thanks!
Victoria Villapando
1599 Haven Hill Ct. Rockwall TX 75087

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From: Cheryl Stanley [REDACTED]
Sent: Monday, July 12, 2021 10:48 AM
To: Planning
Subject: Case No. Z2021-020

In response to your letter requesting our input on the property at 1500 Sunset Hill Drive, my husband and I are fine with a house of worship going in on the property. We can't say that we are in favor as we would prefer it to remain a single family home. However, given some of the other possibilities a house of worship and this particular congregation may be a welcome neighbor. We do ask that you consider the following as your progress:

- Increased traffic on Lakeshore. We moved here due to the fact that we wanted to get away from the city and traffic. This area used to be a nice peaceful community, but traffic (speeding) is becoming a huge problem.
- Also, this property is beautiful and home to a lot of small wildlife, we are concerned about the destruction of trees and the surrounding space. We would love to see the property preserved as much as possible.
- The addition of a modest chapel along with the current home updates and putting in a parking lot means construction, and changes to run-off when it rains. This area already has some issues with high water during storms along Lakeshore.

We just ask you and the developer to consider these factors as you move forward with not only this project but similar projects throughout the city. Areas were originally zoned as such for a reason.

Let's keep Rockwall safe and beautiful.

Rob and Cheryl Stanley
1581 N Hills Drive, Rockwall TX 75087

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2021-020

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

Benjamin

Last Name *

Sims

Address *

1335 Champions Dr

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

benben2000vr@yahoo.com

Phone Number

305-905-0327

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: _____

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Google Forms

From: Christina Alvarez [REDACTED]
Sent: Monday, July 12, 2021 11:18 AM
To: Planning
Subject: Case No. Z2021-020

Hello,

I'm writing to express my opposition to the worship center as this is in the middle of a residential neighborhood and Lakeshore Drive already sees enough traffic. I'm concerned this addition will lead to significant back ups similar to the ones seen on I30 Sunday mornings near Lakeshore Church.

Christina Alvarez
1602 Sunset Hill Drive
Rockwall, TX 75087

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2021-020

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

This will add to much traffic and noise. Out home shares the alley with the property in question. We built in a nestled neighborhood for the peace and quietness.

Respondent Information

Please provide your information.

First Name *

Cindy

Last Name *

Ortiz

Address *

1587 N Hills Dr

City *

Rockwall

State *

Texas

Zip Code *

75087

Email Address *

cortiz@garlandisd.net

Phone Number

214-675-3250

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: _____

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Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2021-020

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

SUP will change the character of the neighborhood, possibly leading to more outside people, traffic, safety issues, and noise, as well as a reduction in property values for the residential single family area. The light from the traffic will shine directly into are houses off of Lake Shore drive and water run-off will cause flooding on street.

Respondent Information

Please provide your information.

First Name *

Juan Santiago

Last Name *

Santos

Address *

610 Christan Ct

City *

Rockwall

State *

Texas

Zip Code *

75087

Email Address *

jsantos@gpltexas.org

Phone Number

281-785-5655

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

#Z2021-020

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

This is a poor location as it is smack in the middle of a residential area, and will add to traffic flow issues.

Respondent Information

Please provide your information.

First Name *

Laura

Last Name *

Taylor

Address *

778 Oak Hollow Lane

City *

Rockwall

State *

Texas

Zip Code *

75087

Email Address *

LAURAT1966@LIVE.COM

Phone Number

214-929-2466

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2021-020

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Traffic flow and eye sore to neighbors

Respondent Information

Please provide your information.

First Name *

Piper

Last Name *

Williams

Address *

1480 White Sand

City *

Rockwall

State *

Tx

Zip Code *

75087

Email Address *

athomepiper@yaboo.com

Phone Number

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
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- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: _____

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From: [REDACTED]
To: [Planning](#); [Lee, Henry](#); [Gonzales, David](#)
Subject: Opposition to Case No. Z2021-020
Date: Monday, July 12, 2021 4:08:26 PM
Attachments: [Lofland Topside Lane Zoning SUP request.pdf](#)

Mr. Gonzales

I reside at #1 Topside Lane, Rockwall, Texas. My house is located within the 500' buffer zone of this SUP request. I oppose this change to our residential neighborhood. I feel this is an established residential neighborhood and it should remain as such. I have attached a letter stating more reasons for my opposition.

Thank you.

Please notify me if I need to deliver my notice in writing prior to the listed meetings.

Bill Lofland
105 E. Kaufman Street
Rockwall, TX 75087-2529
972-771-5212 Office
972-771-0233 Fax

CONFIDENTIALITY NOTICE: This e-mail is privileged and confidential information intended only for the use of the individuals or entities named herein. If an address or transmission error has misdirected this e-mail, please notify the sender by replying to this e-mail. If you are not the intended recipient or the employee or agent responsible to deliver it to the intended recipient, you must not use, disclose, distribute, copy, print or rely on this e-mail. Please then delete the original including all attachments and destroy any copy of e-mail and printout thereof.

IRS CIRCULAR 230 - DISCLOSURE NOTICE: IRS Circular 230 regulates written communications about federal tax matters between tax advisors and their clients. To the extent the proceeding correspondence and/or any attachment is a written tax advice communication, it is not a full "covered opinion". Accordingly, this advice is not intended and cannot be used for the purpose of avoiding penalties that may be imposed by the IRS regarding the transaction or matters discussed herein. In addition, the materials communicated herein are intended solely for the addressee and are not intended for distribution to any other person or entity, or to support the promotion or marketing of the transaction or matters addressed herein. Any subsequent reader should seek advice from an independent tax advisor with respect to the transaction or matters addressed herein based on the reader's particular circumstances.

[REDACTED]

[REDACTED]

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PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-020: Specific Use Permit for a House of Worship

Hold a public hearing to discuss and consider a request by St. Benedict's Anglican Church on behalf of Brett Hall for the approval of a Specific Use Permit (SUP) for a House of Worship on a 7.45-acre tract of land identified as Tract 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, 1500 Sunset Hill Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 13, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 19, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 19, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-020: Specific Use Permit for a House of Worship

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Please see my attached letter

Name: *Bill Lofland and Louise Lofland*
Address: *#1 Topside Lane, Rockwall, Texas 75087*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

July 12, 2021

Mayor and City Council Members for the City of Rockwall
Chairman and Members of the Planning and Zoning Commission for the City of Rockwall

Notice of Zoning Change for 1500 Sunset Hill Drive, Rockwall, Texas
Letter of Opposition to the requested Special Use Permit Z2021-020

I live at #1 Topside Lane, Rockwall, Texas. My home is within the 500' Buffer. The home I live in was constructed in 1957-1958.

It was outside of the City of Rockwall when the construction began.

The home at 1500 Sunset Hill Drive was constructed in 1955 as well as the home at 1501 Sunset Hill Drive.

The City of Rockwall annexed this area into the City in 1958. One of the main reasons that differentiates Rockwall from Houston is that we have zoning laws and the City of Houston does not. In Houston you can have office complexes adjacent to homes. No buffer. No planning. No security that your home will be suddenly adjacent to a commercial structure. In Houston no zoning means that your neighbors are only governed by who can pay the most.

Since 1958 where my house is located it has only been a residential area.

I just spent a lot of money remodeling my house at #1 Topside Lane. I had no idea that there would be a zoning request for a special use permit to change any of the land near my home for any use other than a residential use. I probably would not have made the expenditure if I would have known the city might act in this manner.

The location at 1500 Sunset Hill Drive is one of the best locations for homes in Rockwall. All of the property within the 500' Buffer Notice is utilized for residential purposes. There are no businesses, no day care centers, nothing other than homes surrounding 1500 Sunset Hill Drive.

This Special Use Permit should be denied and this property should remain residential.

Thank you.



Bill and Laura Lofland

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2021-020

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Traffic is already a problem here. Please do not approve.

Respondent Information

Please provide your information.

First Name *

Zo

Last Name *

Saenz

Address *

617 knollwood dr

City *

Rockwall

State *

Tx

Zip Code *

75087

Email Address *

zasaenz@hotmail.com

Phone Number

210-209-1199

Please check all that apply: *

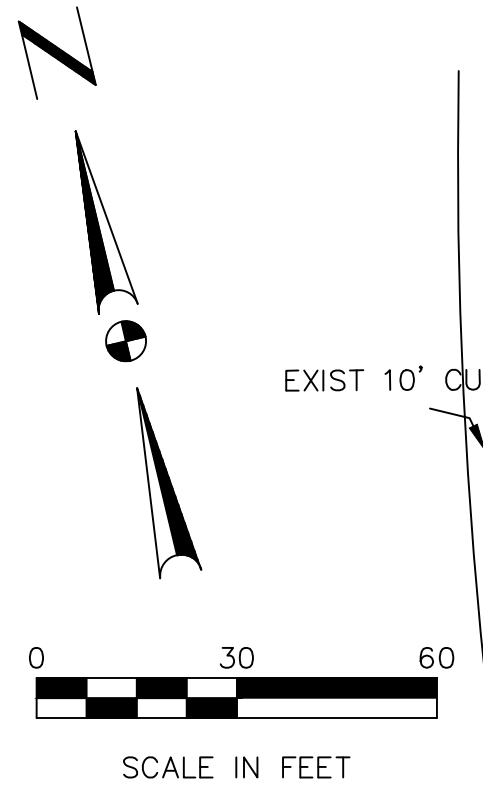
- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: _____

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DETENTION POND

N. LAKESHORE DRIVE

HAVEN HILL COURT

SUNSET HILL DRIVE

- PROPOSED IMPROVEMENTS
- PROPOSED ASSEMBLY ROOM
- FUTURE IMPROVEMENTS

EXIST 10' CURB INLET

PROPOSED DETENTION OUTFALL

SHRUB HEDGE ROW FOR PARKING LIGHT SCREENING

PROPOSED 24' FIRE LANE AND ACCESS EASEMENT

SHRUB HEDGE ROW FOR PARKING LIGHT SCREENING

PROPOSED 20' UTILITY EASEMENT

PROPOSED 8" WATER

CONNECT TO EX 8" WATER

EXIST. 8" WATER

EXISTING GARAGE TO BE REMOVED

CONNECT TO EXIST 8"

EXIST. 8" WATER

PROPOSED LIVE 3 TIER LANDSCAPE SCREENING

PROPOSED 8" WATER

EXIST. 6" FH

PROPOSED 20' UTILITY EASEMENT

EXISTING WING OF STRUCTURE TO BE DEMOED, RECONSTRUCT & CONNECT
PROPOSED 40' X 40' ASSEMBLY ROOM

PROPOSED FH

PROPOSED WING RECONSTRUCTION

FUTURE FIRE LANE / PARKING

FUTURE CHAPEL

WATER FEATURE

REFURBISH EXISTING STRUCTURE

PROPOSED LIVE 3 TIER LANDSCAPE SCREENING

EXISTING PRIVATE DRIVE

PROPOSED PRIVATE GATED ENTRANCE

EXISTING PRIVATE DRIVE



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY W.L. DOUPHRATE II TEXAS P.E. NO. 6002, F-886, ON DATE: APRIL 23, 2021.

DOUPHRATE & ASSOCIATES, INC.
 ENGINEERING PROJECT MANAGEMENT SURVEYING
 2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
 PHONE: (972)771-9004 FAX: (972)771-9005

CONCEPT PLAN
ST. BENEDICT'S ANGLICAN CHURCH PROPERTY
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

REVISION
 W.L.D.
 CHECKED
 G.C.W.
 DRAWN
 SCALE
 1" = 30' H
 1" = 30' V
 DATE
 APRIL 23, 2021
 PROJECT
 21007 SITE PL.

92696

NON-HOMESTEAD AFFIDAVIT AND DESIGNATION OF HOMESTEAD

STATE OF TEXAS)

COUNTY OF ROCKWALL)

property, to-wit:

Being two tracts of land containing 5 acres of land in the W. B. Bowles Survey and the A. Hanna Survey, situated in Rockwall County, Texas, and being more fully described on Exhibit "A" attached hereto and made a part hereof at this point for all purposes.

*Survey
acres*

That they now reside upon, use and claim as their legal homestead the following described property, to-wit:

Being 2.9807 acres of land in the W. B. Bowles Survey and the A. Hanna Survey, situated in Rockwall County, Texas, and being more fully described on Exhibit "B" attached hereto and made a part hereof at this point for all purposes;

House

which said last described property is urban in nature.

EXHIBIT "A" TO NON-HOMESTEAD AFFIDAVIT AND DESIGNATION OF HOMESTEAD FROM RALPH M. HALL AND WIFE, MARY ELLEN HALL, TO THE PUBLIC

TRACT ONE:

All that certain lot, tract or parcel of land situated in the W. B. Bowles Survey, Abstract No. 12, and the A. Hanna Survey, Abstract No. 98, Rockwall County, Texas, and being a portion of the alleys in Block J and Block H of NORTSHORE PHASE TWO, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Slide A, Page 328, Plat Records, Rockwall County, Texas, and subsequently vacated by Vacation of Plat recorded in Volume 198, Page 633, Real Estate Records, Rockwall County, Texas, and being the same tract of land described in a Warranty Deed from First Texas Savings Association to Ralph M. Hall, as recorded in Volume 200, Page 665, Rockwall County Deed Records, and being more particularly described as follows:

BEGINNING at an iron rod on the most Northerly East line of the above mentioned vacated Plat, said point being the Northeast corner of the above cited Deed, said point also being at the Northerly Northwest corner of a tract of land conveyed to Ralph Hall, recorded in Volume _____, Page _____, Rockwall County Deed Records;

THENCE along the West lines of said Hall Tract, recorded in Volume _____, Page _____, and the most Northerly East lines of said Vacated Plat as follows:

S. 00° 13' 39" W. a distance of 130.00 feet to an iron rod for a corner;

S. 89° 39' 42" E. a distance of 126.84 feet to an iron rod for a corner;

S. 00° 22' 42" W. a distance of 299.78 feet to an iron rod for a corner at the most Southerly Southwest corner of said Hall Tract, recorded in Volume _____, Page _____, said point also being on the North line of NORTSHORE PHASE 2-A, a proposed Addition to the City of Rockwall;

THENCE along a North line of said proposed Addition in a Northwesterly direction along a curve to the right, having a central angle of 20° 54' 33" a radius of 50.00 feet, a chord bearing of N. 78° 48' 21" W., a chord of 18.15 feet, a distance of 18.25 feet to an iron rod for a corner;

THENCE S. 21° 38' 55" W. a distance of 20.00 feet to an iron rod for a corner at the Northwest corner of Lot 1, Block A of said proposed Addition;

THENCE S. 54° 03' 59" W. along the Northwest line of said Lot 1 a distance of 148.27 feet an iron rod for a corner in the Easterly line of North Lake Shore Drive;

THENCE along the Easterly line of North Lake Shore Drive as follows:

In a Northerly direction, along a curve to the right, having a central angle of 18° 13' 08" a radius of 750.00 feet, a chord bearing N. 26° 49' 27" W., a chord of 237.48 feet, and an arc distance of 238.49 feet to an iron rod for a corner;

N. 17° 42' 53" W. a distance of 131.37 feet to an iron rod at the Point of Curvature of a curve to the right, having a central angle of 15° 21' 28" a radius of 750.00 feet, a chord bearing of N. 10° 02' 09" W., a chord of 200.43 feet, and an arc distance of 201.03 feet to an iron rod for a corner;

THENCE S. 89° 29' 00" E. a distance of 202.97 feet to the POINT OF BEGINNING and containing 2.6547 acres of land.

TRACT TWO:

All that certain lot, tract or parcel of land situated in the W. B. Bowles Survey, Abstract No. 12, and the A. Hanna Survey, Abstract No. 98, Rockwall County, Texas, and being part of a 5.326 acre tract of land conveyed to Ralph M. Hall by Deed recorded in Volume _____,

Page _____, Rockwall County Deed Records, and being more particularly described as follows:

BEGINNING at iron rod at the Northwest corner of the above cited tract of land, said point also being the Northeast corner of a tract of land described in a Warranty Deed from First Texas Savings Associates to Ralph M. Hall, as recorded in Volume 200, Page 665, Rockwall County Deed Records;

THENCE S. 89° 29' 00" E. a distance of 227.50 feet to an iron rod for corner;

THENCE S. 00° 22' 42" W. a distance of 300.00 feet to an iron rod for a corner;

THENCE S. 89° 29' 00" E. a distance of 329.22 feet to an iron rod for a corner;

THENCE S. 00° 20' 43" W. a distance of 129.38 feet to an iron rod for a corner in the South line of the above cited 5.326 acre tract;

THENCE N. 89° 29' 00" W. along the South line of said 5.326 acre tract a distance of 429.61 feet to an iron rod for corner at the Southwest corner of said 5.326 acre tract, said point also being the most Easterly Southeast corner of the above cited tract recorded in Volume 200, Page 665;

THENCE along the West lines of said 5.326 acre tract and the East lines of said tract recorded in Volume 200, Page 665, as follows:

N. 00° 22' 42" E. a distance of 299.78 feet to an iron rod for a corner;

N. 89° 39' 42" W. a distance of 126.84 feet to an iron rod for a corner;

N. 00° 13' 39" E. a distance of 130.00 feet to the POINT OF BEGINNING and containing 2.3453 acres of land.

*and, same & except for .5318
acres, the Ralph Hall addition, Phase 2,
Lot 10, described in Vol. 5349, page 1,
of the Rockwall Co. Deed Records.*

*↑
(This made the surrounding
land approx 4.5 acres)*

EXHIBIT 'B' TO NON-HOMESTEAD AFFIDAVIT AND
DESIGNATION OF HOMESTEAD FROM
RALPH M. HALL AND WIFE, MARY ELLEN HALL, TO
THE PUBLIC

All that certain lot, tract or parcel of land being a 5.326 acre tract of land out of the A. Hanna Survey, and the W. B. Bowles Survey, Rockwall County, Texas, and being a portion of a 2.00 acre tract and a 5.00 acre tract as recorded in Volume 87, Page 488, Deed Records, Rockwall County, Texas;

BEGINNING at the Northwest corner of a 2.00 acre tract recorded in Volume 87, Page 488, Deed Records, Rockwall County, Texas;

THENCE along the North line of said 2.00 acre tract, South 89° 29' East, 628.5 feet to an iron pin;

THENCE South 00° 20' 43" West, 430.00 feet to an iron pin in the South line of a 5.00 acre tract recorded in Volume 87, Page 488, Deed Records, Rockwall County, Texas;

THENCE along said South line, North 89° 29' West 501.00 feet to the Southwest corner of said 5.00 acre tract;

THENCE North 00° 20' 43" East, 300.00 feet to the Northwest corner of said 5.00 acre tract and being in the South line of said 2.00 acre tract;

THENCE along the South line of said 2.00 acre tract, North 89° 29' West 127.5 feet to an iron pin and the Southwest corner of said 2.00 acre tract;

THENCE North 00° 20' 43" East, 130.00 feet to the Point of Beginning, containing 5.326 acres of land, more or less.

SAVE AND EXCEPT THE FOLLOWING DESCRIBED TRACT OF LAND:

All that certain lot, tract or parcel of land situated in the W. B. Bowles Survey, Abstract No. 12, and the A. Hanna Survey, Abstract No. 98, Rockwall County, Texas, and being part of a 5.326 acre tract of land conveyed to Ralph M. Hall by Deed recorded in Volume _____, Page _____, Rockwall County Deed Records, and being more particularly described as follows:

BEGINNING at iron rod at the Northwest corner of the above cited tract of land, said point also being the Northeast corner of a tract of land described in a Warranty Deed from First Texas Savings Associates to Ralph M. Hall, as recorded in Volume 200, Page 665, Rockwall County Deed Records;

THENCE S. 89° 29' 00" E. a distance of 227.50 feet to an iron rod for corner;

THENCE S. 00° 22' 42" W. a distance of 300.00 feet to an iron rod for a corner;

THENCE S. 89° 29' 00" E. a distance of 329.22 feet to an iron rod for a corner;

THENCE S. 00° 20' 43" W. a distance of 129.38 feet to an iron rod for a corner in the South line of the above cited 5.326 acre tract;

THENCE N. 89° 29' 00" W. along the South line of said 5.326 acre tract a distance of 429.61 feet to an iron rod for corner at the Southwest corner of said 5.326 acre tract, said point also being the most Easterly Southeast corner of the above cited tract recorded in Volume 200, Page 665;

THENCE along the West lines of said 5.326 acre tract and the East lines of said tract recorded in Volume 200, Page 665, as follows:

N. 00° 22' 42" E. a distance of 299.78 feet to an iron rod for a corner;

N. 89° 39' 42" W. a distance of 126.84 feet to an iron rod for a corner;

N. 00° 13' 39" E. a distance of 130.00 feet to the POINT OF BEGINNING and containing 2.3453 acres of land.

Handwritten notes and signatures:
- Signature at top right
- Arrow pointing to 'Hanna' and '2.9 acres'
- Signature at bottom right with '200' and '665' written nearby

FILED FOR RECORD 20th DAY OF March, A.D., 1989 at _____ M.
RECORDED JM DAY OF March, A.D., 1989.
PAULETTE BURKS, COUNTY CLERK, ROCKWALL COUNTY, TEXAS.
BY: [Signature], DEPUTY

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A CHURCH/HOUSE OF WORSHIP WITHIN A SINGLE-FAMILY 10 (SF-10) DISTRICT, ON A 7.45-ACRE TRACT OF LAND, IDENTIFIED AS TRACTS 3 & 10 OF THE W. B. BOWLES SURVEY, ABSTRACT NO. 12 AND THE A. HANNA SURVEY, ABSTRACT NO. 98, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by St. Benedict's Anglican Church on behalf of Brett Hall for the approval of a Specific Use Permit (SUP) for a *Church/House of Worship* on a 7.45-acre tract of land identified as Tracts 3 & 10 of the W.B. Bowles Survey, Abstract No. 12 and the A. Hanna Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 1500 Sunset Hill Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Church/House of Worship* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code [Ordinance No. 20-02] on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be subject to the requirements set forth in Subsection 02.03(C)(2), *Church/House of Worship*, of Article 04, *Permissible Uses* and

Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall -- as heretofore amended and as my be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *Church/House of Worship* land use on the *Subject Property* and conformance to these conditions is necessary for continued operations:

- (1) The *Church/House of Worship* facility shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- (2) Any changes or additions to the exterior of the existing structures or the addition of new structures shall be required to be reviewed by the Architectural Review Board (ARB) and approved by the Planning and Zoning Commission.
- (3) Headlight screening shall be incorporated adjacent to the parking areas as depicted on the *Concept Plan* in *Exhibit 'B'* of this ordinance.
- (4) Three (3) tiered screening (*i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees*) shall be incorporated adjacent to the northern and eastern property lines of the subject property generally as depicted on the *Concept Plan* in *Exhibit 'B'* of this ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- (1) Upon obtaining a *Certificate of Occupancy (CO)*, should any business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or

provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF AUGUST 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 19, 2021

2nd Reading: August 2, 2021

Exhibit 'A'
Legal Description and Location Map

Legal Description: Tracts 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey, Abstract No. 98

Address: 1500 Sunset Hill Drive

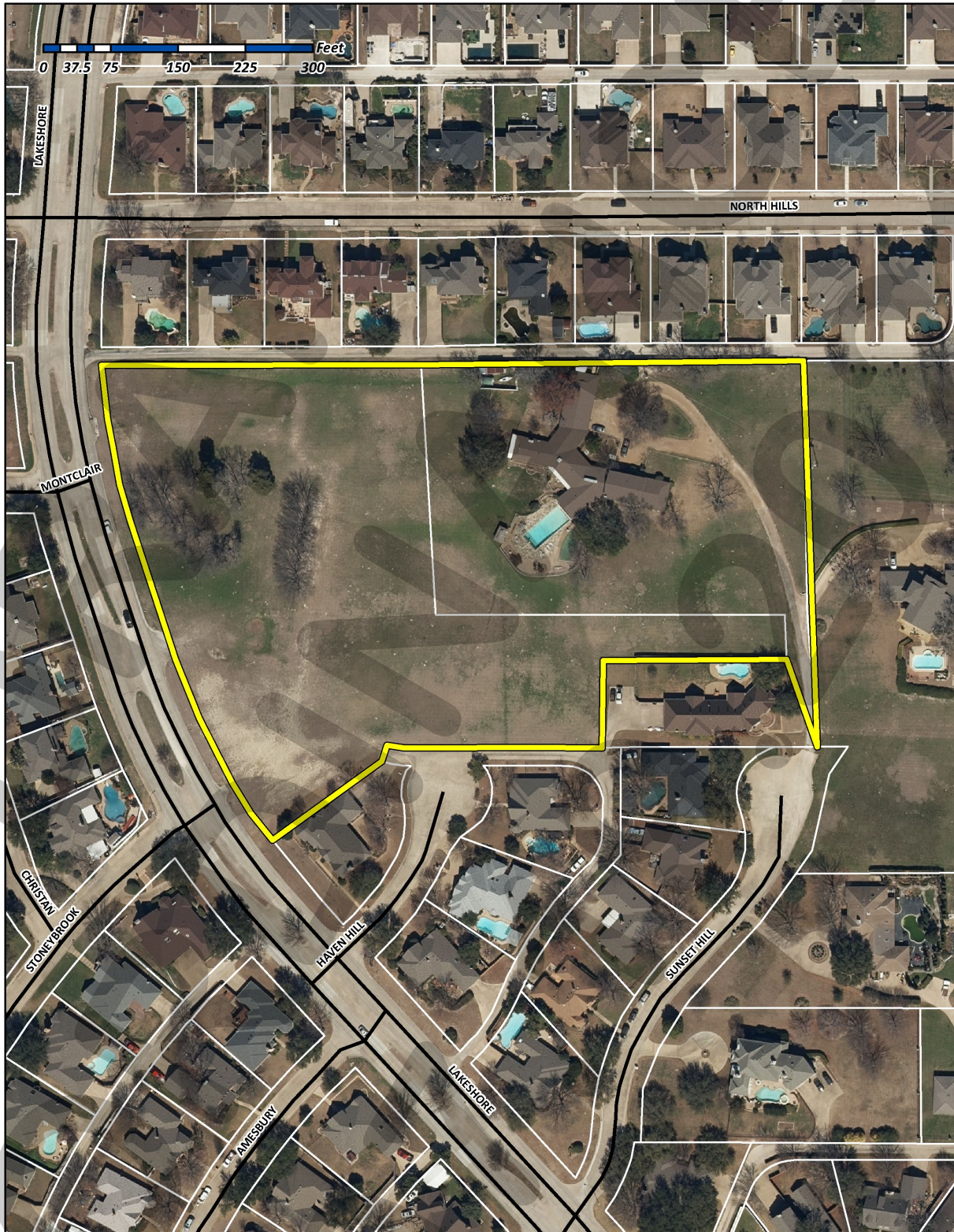
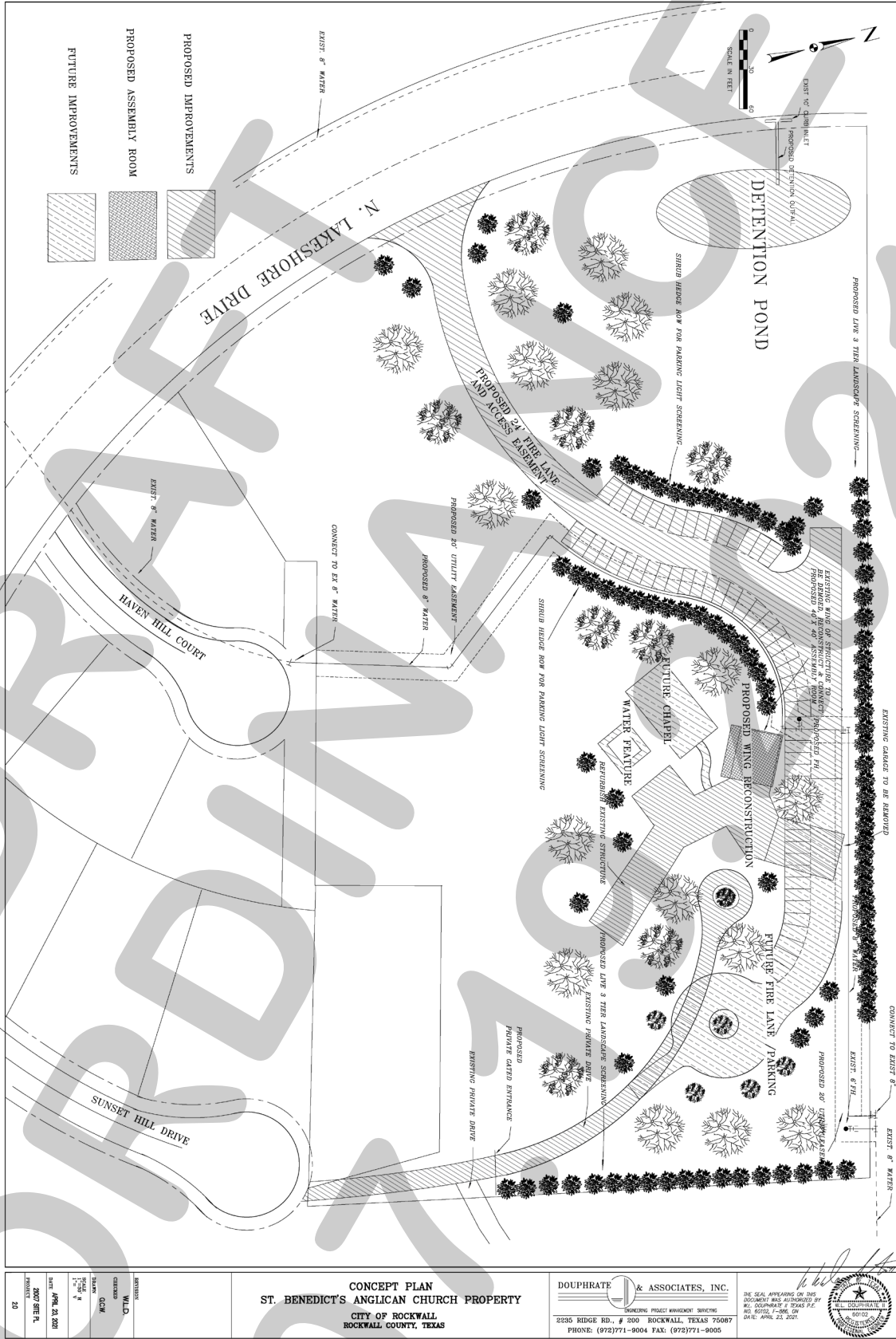


Exhibit 'B' Concept Plan



SHEET NO. 20 DATE: APRIL 23, 2021 PROJECT: 2007 SITE PL.	REVISIONS: W.L.D. CHECKED: J.C.M. DRAWN: J.C.M.	CONCEPT PLAN ST. BENEDICT'S ANGLICAN CHURCH PROPERTY CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS	DOUPHRATE & ASSOCIATES, INC. REGISTERED PROFESSIONAL ARCHITECT 2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087 PHONE: (972)771-9004 FAX: (972)771-9005	THE SEAL APPEARING ON THIS DOCUMENT HAS ATTACHED BY M.L. DOUPHRATE & ASSOCIATES, INC. DATE: APRIL 23, 2021.
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MEMORANDUM

TO: Mary Smith, Interim City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: July 19, 2021

SUBJECT: Z2021-021; SPECIFIC USE PERMIT FOR THE VAULT SELF STORAGE

Attachments

Case Memo
Development Application
Location Map
HOA Notification Map
Neighborhood Notification Email
Property Owner Notification Map
Property Owner Notification List
Public Notice
Property Owner Notifications
Concept Plan
Screening Plan
Conceptual Building Elevations
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by Stephen Seitz of Seitz Architects, Inc. on behalf of Jim Vaudagna of the Vault Self-Storage for the approval of an ordinance for a *Specific Use Permit (SUP)* allowing the expansion of an existing *Mini-Warehouse Facility* on a 6.06-acre parcel of land identified as Lot 1, Block C, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1280 E. Ralph Hall Parkway, and take any action necessary (1st Reading).

Action Needed

The City Council is being asked to approve, approve with condition, or deny the *Specific Use Permit*.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: July 19, 2021
APPLICANT: Stephen Seitz; *Seitz Architects, Inc.*
CASE NUMBER: Z2021-021; *Specific Use Permit for The Vault Self Storage*

SUMMARY

Hold a public hearing to discuss and consider a request by Stephen Seitz of Seitz Architects, Inc. on behalf of Jim Vaudagna of the Vault Self-Storage for the approval of a Specific Use Permit (SUP) the expansion of an existing Mini-Warehouse Facility on a 6.06- acre parcel of land identified as Lot 1, Block C, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1280 E. Ralph Hall Parkway, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on December 7, 1981 by *Ordinance No. 81-33 [Case No. A1981-002]*. On January 4, 1982, the City Council approved a zoning change for the subject property from Agricultural (AG) District to Planned Development District 14 (PD-14) by *Ordinance No. 82-02*. On November 5, 2009, the City Council approved *Ordinance No. 09-42*, which was a city-initiated zoning change [*Case No. Z2009-016*] rezoning the subject property from Planned Development District 14 (PD-14) to a Commercial (C) District. By changing the zoning on the subject property to a Commercial (C) District the *Mini-Warehouse Facility* land use went from being a permitted *by right* use in the Light Industrial (LI) District to requiring a Specific Use Permit (SUP) in a Commercial (C) District. On June 3, 2013, the City Council approved a Specific Use Permit (SUP) [*S109; Case No. Z2013-015; Ordinance No. 13-15*] to allow the expansion of an existing *Mini-Warehouse Facility*. On November 4, 2013, the City Council approved [*S113; Case No. 2013-025*] to amend SUP *Ordinance No. 13-15* to allow for rental vehicles as an accessory use to the *Mini-Warehouse Facility*. After the passage of *Ordinance No. 17-17 -- which amended the requirements for Specific Use Permits (SUP)'s --, Ordinance No. 13-15* expired on March 20, 2018 in accordance with the requirements of the Unified Development Code (UDC).

PURPOSE

The applicant -- *Stephen Seitz of Seitz Architects Inc.* -- is requesting the approval of a Specific Use Permit (SUP) to allow for the expansion of an existing *Mini-Warehouse Facility* as stipulated by Subsection 02.03 (J), *Wholesale, Distribution and Storage Land Uses*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1280 E. Ralph Hall Parkway. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is E. Ralph Hall Parkway, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) parcels of land developed with Commercial (C) District land uses. Beyond this is S Goliad Street, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a vacant 31.03-acre tract of land zoned Commercial (C) District. Beyond this is a vacant 20.562-acre parcel of land that serves as the open space for the Flagstone Estates Subdivision. Beyond this are three (3) parcels of land zoned Heavy Commercial (HC) District.

East: Directly east of the subject property are three (3) parcels of land, where two (2) are developed with Commercial (C) District land uses (i.e. Lot 1, Block B, Rockwall Business Park East Phase 2 and Tract 17 of the J.D. McFarland Survey) and one (1) is vacant (i.e. Tract 25-1 of the J Cadle Survey). Beyond this is S. Goliad Street, which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 17.1937-acre parcel of land that serves as the Meadowcreek Estates open space.

West: Directly west of the subject property is a vacant 6.28-acre parcel of land zoned for Commercial (C) District. Beyond this is E. Ralph Hall Parkway, which is identified as a M4D (i.e. major collector, four [4] lane, divided roadway) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several parcels of land developed with Commercial (C) District land uses.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE WITH THE CITY’S CODE

On June 3, 2013 the applicant was approved [Case No. Z2013-015] to allow the expansion of their existing *Mini-Warehouse Facility* by Ordinance No. 13-15. This Specific Use Permit (SUP) has since expired prompting the applicant to resubmit. The mini-warehouse facility on the subject property covers 40.26% (or 2.44-acres) of the 6.06-acre parcel of land and has a capacity of 275 storage units. The application submitted by the applicant is requesting to expand the site to cover approximately 75.90% (or 4.6-acres) of the subject property and have a total of 568 storage units (or a 293-unit increase). According to Subsection 02.03 (J)(1)(a), of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), “...(t)he number of storage units per acre shall not exceed 125, the minimum number of storage units shall be ten (10), and the maximum site area shall be five (5) acres.” The total expansion will bring the site area to 4.6-acres with approximately 123 units per acre. The applicant has stated that the expansion will be completed in two (2) phases with the first phase being the expansion of the facility to the west [depicted as Buildings A, B, C & D on the concept plan]. The second phase will include the demolition of an existing 9,062 SF building to make room for the construction of two (2) new buildings [depicted as Buildings E & F on the concept plan].

According to Subsection 03.02 of Article 11, *Applicability*, of the Unified Development Code (UDC) an amended site plan will be required if “...(a)ll expansions of an existing non-residential building or structure that increases the existing floor area by 30% or that adds 2,000 SF of floor area.” As the property exists today the total floor area is 45,011 SF. In conformance with this increase the applicant will be required to submit a site plan with building elevations, a landscaping plan and photometric plan indicating conformance to the current standards. In order to demonstrate conformance with all of the use requirements detailed in Subsection 02.03 (J), of Article 04, *Permissible Uses*, of the UDC the applicant has submitted concept elevations that will be included in the SUP ordinance. Additionally, all future submittals shall be required to generally adhere to these building elevations.

A summary of the use requirements for the *Mini-Warehouse Facility* land use stipulated by the Subsection 02.03 (J), *Wholesale, Distribution and Storage*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) is as follows:

<i>Code Requirement</i>	<i>Proposed Plan</i>	<i>Compliance</i>
The maximum site area shall not exceed five (5) acres.	4.6-Acres ¹	<i>In Conformance</i>
The maximum number of storage units shall not exceed 125 units per acre.	~123 Units/Acre	<i>In Conformance</i>
The maximum height shall not exceed one (1) story ² .	The storage facility buildings are one story in height and range from 13’ – 24’-2”.	<i>In Conformance</i>
The minimum number of parking spaces required is two (2).	9 Parking Spaces	<i>In Conformance</i>
No direct access from FM740, SH205, SH66, SH276, FM3097, FM552, FM549 or John King Boulevard.	Direct access from Ralph Hall Parkway only.	<i>In Conformance</i>

Overhead doors shall not face adjacent streets.	The facilities buildings all face inward and do not have doors visible from Ralph Hall Parkway.	<i>In Conformance</i>
All exterior walls facing the front, side and rear property lines shall be 100% brick construction.	All exterior walls on the site facing the front, side and rear property lines will utilize the same brick that is on the existing structures.	<i>In Conformance</i>
The front, side and rear building setback areas shall incorporate clustered landscaping.	<i>Will be handled at the time of the site plan submittal on the Landscaping Plan.</i>	<i>Landscaping Plan</i>
Gates shall be incorporated limiting access to the facility.	Existing and proposed wrought iron gates.	<i>In Conformance</i>
Screening fences shall be wrought iron or masonry.	Masonry Screening Fence	<i>In Conformance</i>
Concrete shall be used for all paving.	All future paving will be concrete.	<i>In Conformance</i>
Roof shall have a minimum roof pitch of 1:3 and be constructed with metal standing seam.	The roof pitches will be 12:6, 12:5, & 12:1 with metal standing seam used on the interior buildings and Spanish tile used on the exterior buildings. This will match the existing structures on the site.	<i>Not In Conformance</i> ³
Lighting standards shall be limited to a maximum of 20-feet in height.	<i>Will be handled at the time of site plan submittal on the Photometric Plan.</i>	<i>Photometric Plan</i>

NOTES:

- ¹: Total site area is 6.06-acres. The subject property was platted as Lot 1, Block C of the Rockwall Business Park East Addition in August of 1982 prior to the adoption of this requirement.
- ²: If necessary, the office/care taker residence-unit may exceed one story, but shall not exceed 36-feet in height. The office/care taker residence is currently located on the second floor of an existing building that stands 24' 2".
- ³: The proposed roof pitches are intended to match the existing buildings and the Spanish style of architecture that was required at the time of construction, which was prior to the adoption of this requirement.

With the exception of the proposed roof pitch the applicant's request is in conformance with all applicable requirements stipulated in Article 04, *Permissible Uses*, of the UDC.

STAFF ANALYSIS

In this case, the applicant's request generally conforms with the requirements set forth by Subsection 02.03 (J)(1), *Wholesale, Distribution and Storage Land Uses*, of Article 04, *Permissible Uses*, of the Unified Development Code. According to Subsection 02.03 (J)(1)(n) "(r)oofs shall have a minimum pitch of 1:3 and be constructed with a metal standing seam..." In this case the applicant is requesting a 12:6, 12:5, and 12:1 roof pitch. The applicant has stated that they are proposing these roof pitches to ensure the proposed buildings match the existing buildings on the subject property. Based on this, the approval of this variance does not appear to have a negative impact on any of the surrounding properties; however, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On June 29, 2021, staff mailed 20 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Flagstone Estates and Meadow Creek Estates Homeowner's Associations (HOAs), which are the HOA/Neighborhood Organizations that are within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for the expansion of an existing Mini-Warehouse Facility, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) All operations on this property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) The building elevations submitted with the site plan shall generally adhere to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance.
 - (c) The minimum roof pitches for the proposed buildings shall be the same as the existing buildings or conform to the roof pitches called out on the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance.
 - (d) No outside storage of any kind shall be permitted on this site. This includes the outside storage of boats, recreational vehicles, and motor or self-propelled vehicles.
 - (e) Businesses shall not be allowed to operate within individual storage units.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On July 13, 2021, the Planning and Zoning Commission approved a motion to approve the Specific Use Permit (SUP) with the conditions of approval by a vote of 6-0, with Commissioner Deckard absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-021

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1280 E. Ralph Hall Parkway, Rockwall, Texas 75032**

SUBDIVISION **Rockwall Business Park East** LOT **1** BLOCK

GENERAL LOCATION **SE Corner at Highway 205 & Ralph Hall Parkway**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial**

CURRENT USE **Self Storage**

PROPOSED ZONING **Commercial**

PROPOSED USE **Additional Self Storage**

ACREAGE **6.06**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **The Vault Self Storage**

APPLICANT **Seitz Architects, Inc.**

CONTACT PERSON **Jim Vaudagna**

CONTACT PERSON **Stephen Seitz**

ADDRESS **1280 E. Ralph Hall Parkway**

ADDRESS **506 Meadowlake Lane**

CITY, STATE & ZIP **Rockwall, Texas 75032**

CITY, STATE & ZIP **Heath, Texas 75032**

PHONE **408.998.1488**

PHONE **214.537.9981**

E-MAIL **jvaudagna@comcast.net**

E-MAIL **sseitz@seitzarchitects.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jim Vaudagna [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

see attached CA acknowledgment



MY COMMISSION EXPIRES

ACKNOWLEDGMENT

A Notary Public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Santa Clara} ss.

On 5/18/21 before me, J. NAT, Notary Public,

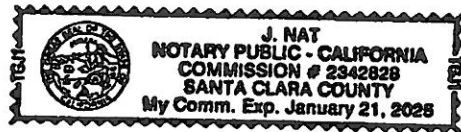
personally appeared James Vaudagna

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is are subscribed to the within instrument and acknowledged to me that he she they executed the same in his her their authorized capacity(ies), and that by his her their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature J. Nat



(seal)

OPTIONAL INFORMATION

Date of Document _____

Type or Title of Document Development Application

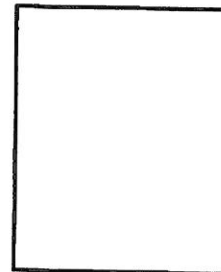
Number of Pages in Document _____

Document in a Foreign Language _____

- Type of Satisfactory Evidence:
- Personally Known with Paper Identification
 - Paper Identification
 - Credible Witness(es)

- Capacity of Signer:
- Trustee
 - Power of Attorney
 - CEO / CFO / COO
 - President / Vice-President / Secretary / Treasurer
 - Other: _____


Thumbprint of Signer



Check here if no thumbprint or fingerprint is available.

Other Information: _____



Z2021-021- SUP FOR THE VAULT SELF STORAGE ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

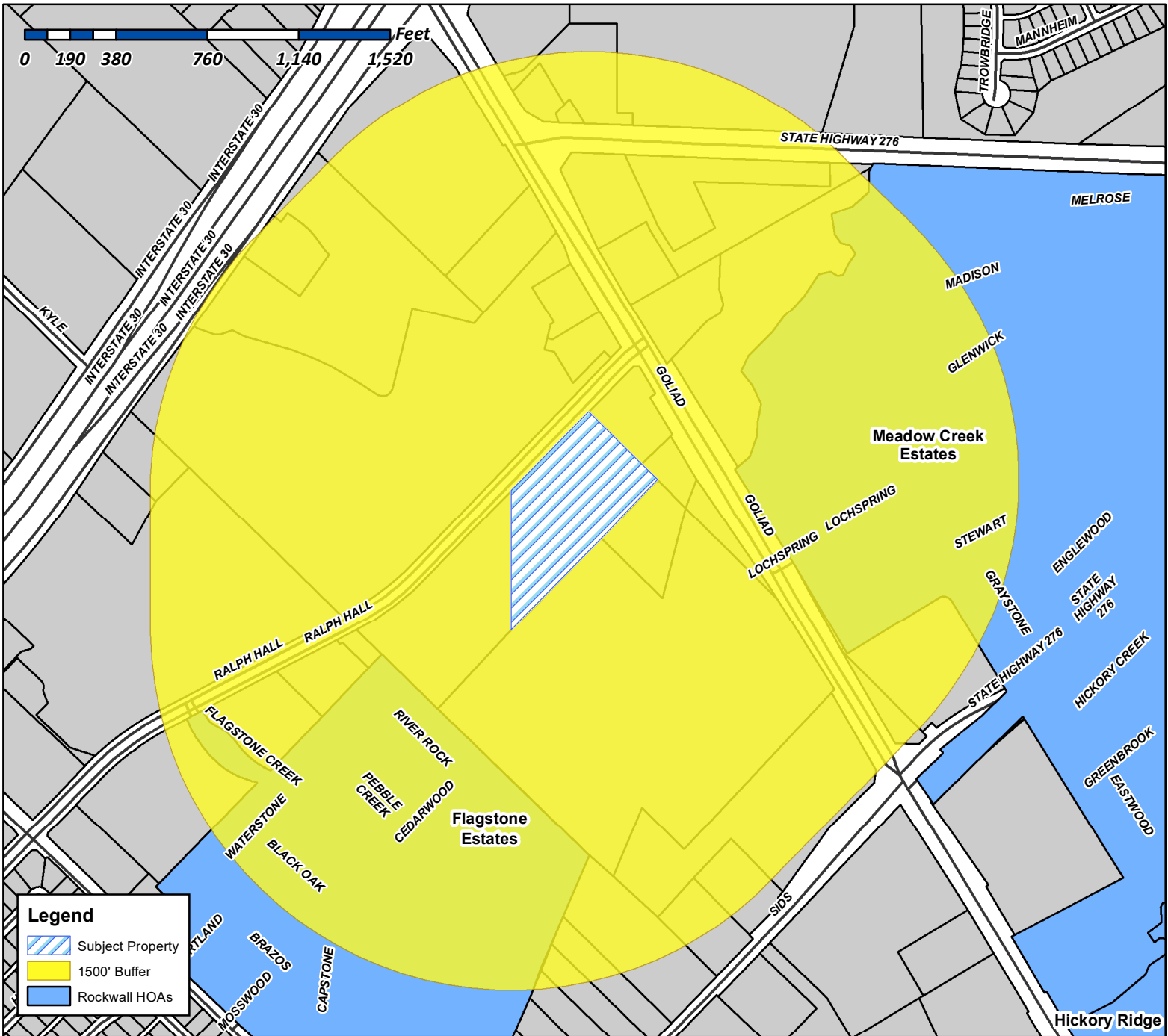




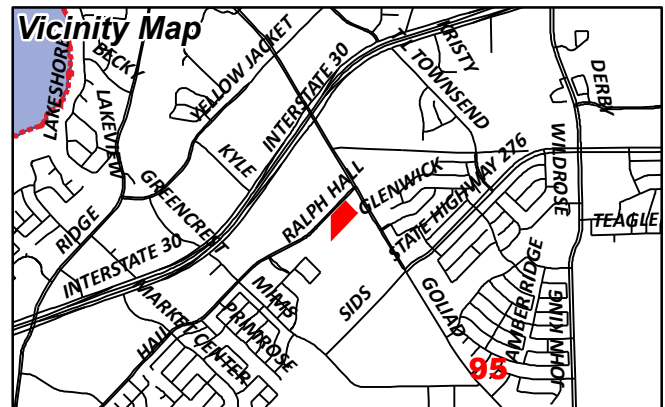
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2021-021
Case Name: SUP for The Vault Self Storage
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1280 E. Ralph Hall Parkway



Date Created: 6/14/2021
For Questions on this Case Call (972) 771-7745

Lee, Henry

From: Gamez, Angelica
Sent: Monday, June 28, 2021 4:54 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-021]
Attachments: Public Notice (06.28.21).pdf; HOA Map Z2021-021.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on June 25, 2021. The Planning and Zoning Commission will hold a public hearing on Tuesday, July 13, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 19, 2021 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-021 SUP for the Expansion of an Existing Mini-Warehouse Facility

Hold a public hearing to discuss and consider a request by Stephen Seitz of Seitz Architects, Inc. on behalf of Jim Vaudagna of the Vault Self-Storage for the approval of a *Specific Use Permit (SUP)* the expansion of an existing *Mini-Warehouse Facility* on a 6.06-acre parcel of land identified as Lot 1, Block C, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1280 E. Ralph Hall Parkway, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

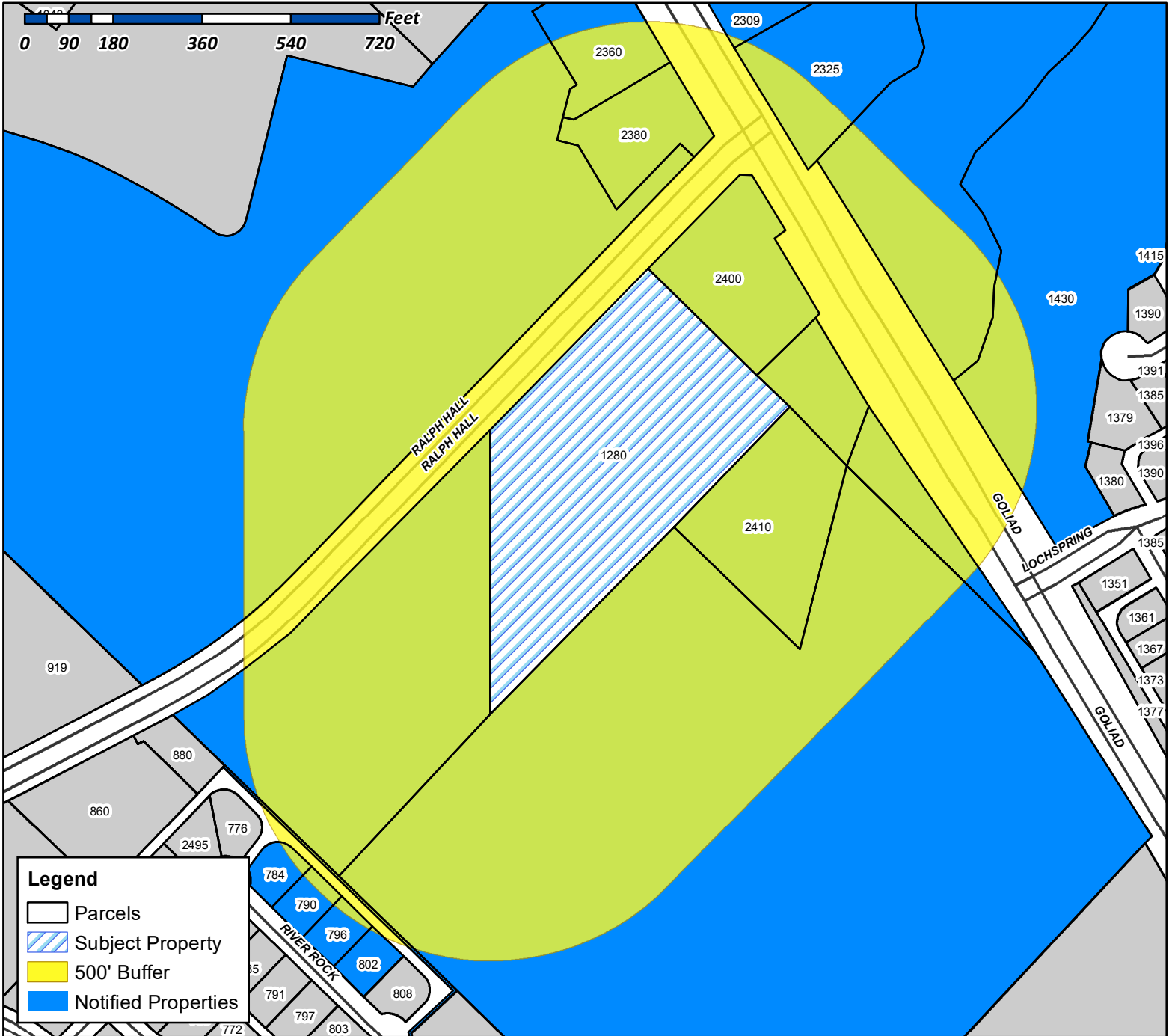
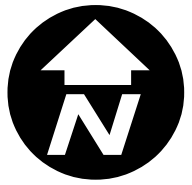
This email was scanned by Bitdefender



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

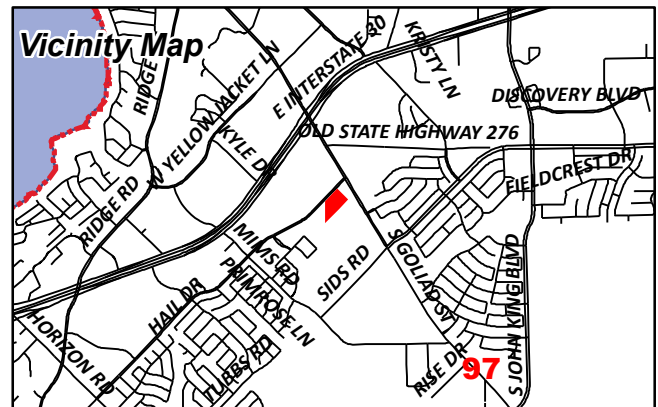
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Legend

- Parcels
- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2021-021
Case Name: SUP for The Vault Self Storage
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1280 E. Ralph Hall Parkway



Date Created: 6/14/2021
For Questions on this Case Call (972) 771-7745

SERVIGNA FERNANDO &
MIGLIA VILLOBOS
10625 MATADOR DR
MCKINNEY, TX 75070

EXCEL ROCKWALL LLC
EXCELL ROCKWALL LLC
10920 VIA FRONTERA SUITE 220
SAN DIEGO, CA 92127

LEVO GROUP LLC
11 HAWTHORNE CIR
ALLEN, TX 75002

DALLAS EAST
ATTN; JIM VAUDAGNA
1280 E RALPH HALL PKWY
ROCKWALL, TX 75032

DALLAS EAST
ATTN; JIM VAUDAGNA
1445 W SAN CARLOS ST
SAN JOSE, CA 95126

LEVO GROUP LLC
2309 S GOLIAD
ROCKWALL, TX 75032

ROBERTS MARLYN & BARBARA
2325 S GOLIAD
ROCKWALL, TX 75032

GOLIAD EXPRESS LLC
2360 S.GOLIAD SUITE 145
ROCKWALL, TX 75032

REA-TRA LLC
2380 S GOLIAD SUITE 100
ROCKWALL, TX 75032

DALLAS EAST
ATTN; JIM VAUDAGNA
2400 S GOLIAD
ROCKWALL, TX 75032

STROTHER, CATHY
2410 S GOLIAD
ROCKWALL, TX 75032

HOWELL MTN RE LLC
2560 TECHNOLOGY DRIVE SUITE 100
PLANO, TX 75074

BACKUS WAYNE E
278 CORNSTALK RD
ROCKWALL, TX 75032

ROBERTS MARLYN & BARBARA
323 JULIAN DRIVE
ROCKWALL, TX 75087

GOLIAD EXPRESS LLC
700 PARKER SQUARE SUITE 145
FLOWER MOUND, TX 75028

SERVIGNA FERNANDO &
MIGLIA VILLOBOS
784 RIVER ROCK LN
ROCKWALL, TX 75032

ROBITZSCH DON W
790 RIVER ROCK LN
ROCKWALL, TX 75032

ZILINSKAS MATTHEW & CAROL
796 RIVER ROCK LANE
ROCKWALL, TX 75032

HENDERSON DAVID AND CHERYL
802 RIVER ROCK LN
ROCKWALL, TX 75032

STROTHER, CATHY
8935 CR 589
NEVADA, TX 75173

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-021: Specific Use Permit for Expansion of an Existing Mini-Warehouse Facility

Hold a public hearing to discuss and consider a request by Stephen Seitz of Seitz Architects, Inc. on behalf of Jim Vaudagna of the Vault Self-Storage for the approval of a Specific Use Permit (SUP) the expansion of an existing Mini-Warehouse Facility on a 6.06-acre parcel of land identified as Lot 1, Block C, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1280 E. Ralph Hall Parkway, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 13, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 19, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 19, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-021: Specific Use Permit for Expansion of an Existing Mini-Warehouse Facility

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2021-021

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Concerned about having a commercial property next to my back yard. We have kids, patios, etc. Backside of the commercial properties is usually for trash and poorly maintained

Respondent Information

Please provide your information.

First Name *

Fernando

Last Name *

Servigna

Address *

784 River Rick Ln

City *

Rockwall

State *

TX

Zip Code *

75032

Email Address *

fernando.servigna@gmail.com

Phone Number

469-363-3022

Please check all that apply: *

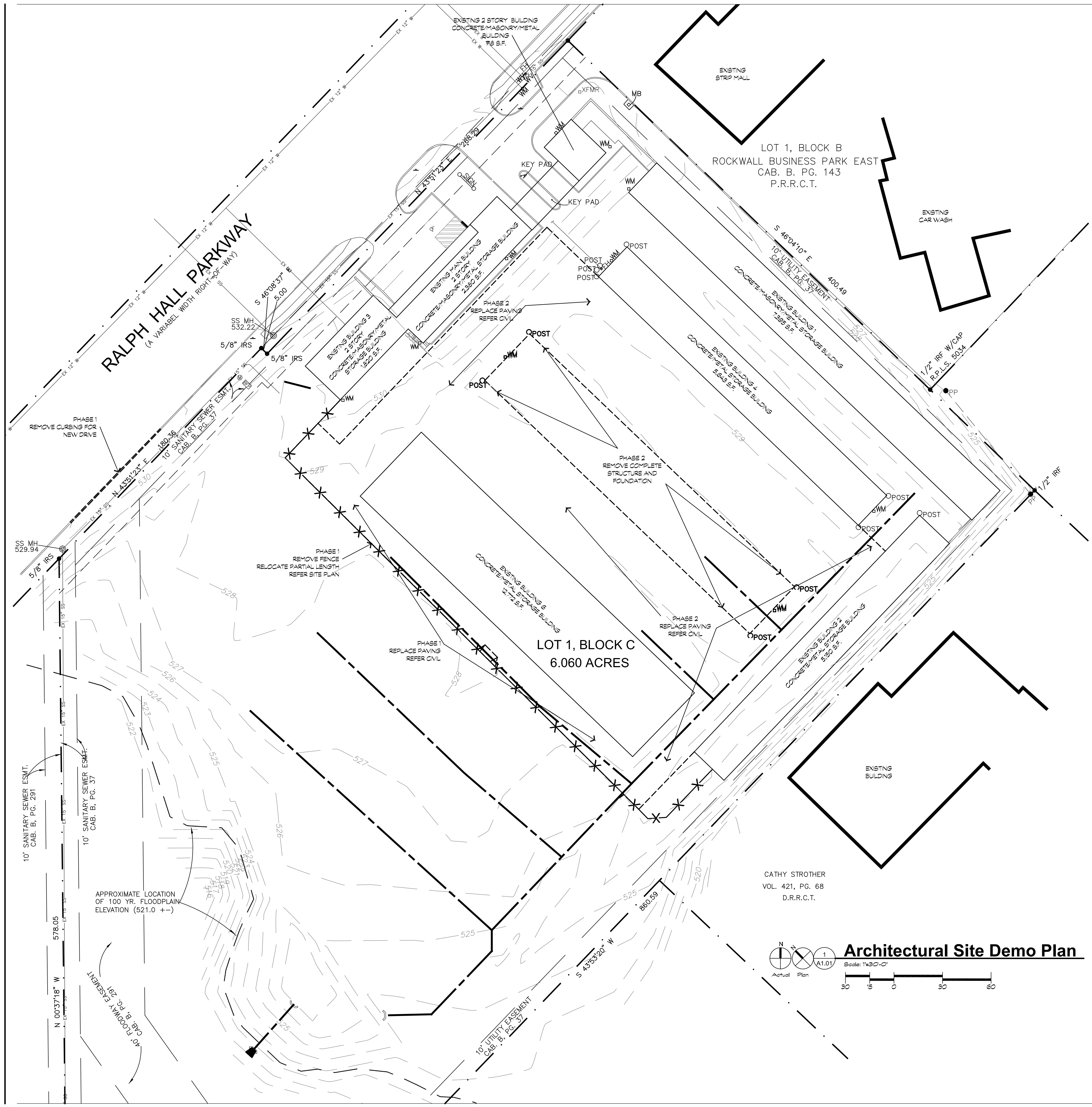
- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

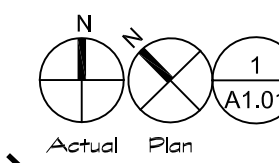
- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: _____

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Google Forms



CATHY STROTHER
VOL. 421, PG. 68
D.R.R.C.T.



Architectural Site Demo Plan

Building Information

OWNER:
Jim Vaudagna
The Vault Self Storage
1280 E. Ralph Hall Parkway
Rockwall, Texas 75087

Jurisdiction of Project

REGULATORY AUTHORITIES:
City of Rockwall, Texas
385 South Goliad Street
Rockwall, Texas 75087
(972) 771-7700

Texas Department of Licensing and Regulation
Elimination of Architectural Barriers
E.O. Thompson State Office Building
920 Colorado
Austin, Texas 78701
(512) 463-3211
(512) 475-2886 (FAX)

BUILDING DESIGN CODE:
2015 International Building Code with local amendments
2015 International Plumbing Code with local amendments
2015 International Fuel Gas Code with local amendments
2015 International Mechanical Code with local amendments
2015 International Energy Conservation Code with local Amendments
2015 International Existing Building Code with local amendments
2014 National Electrical Code with local amendments

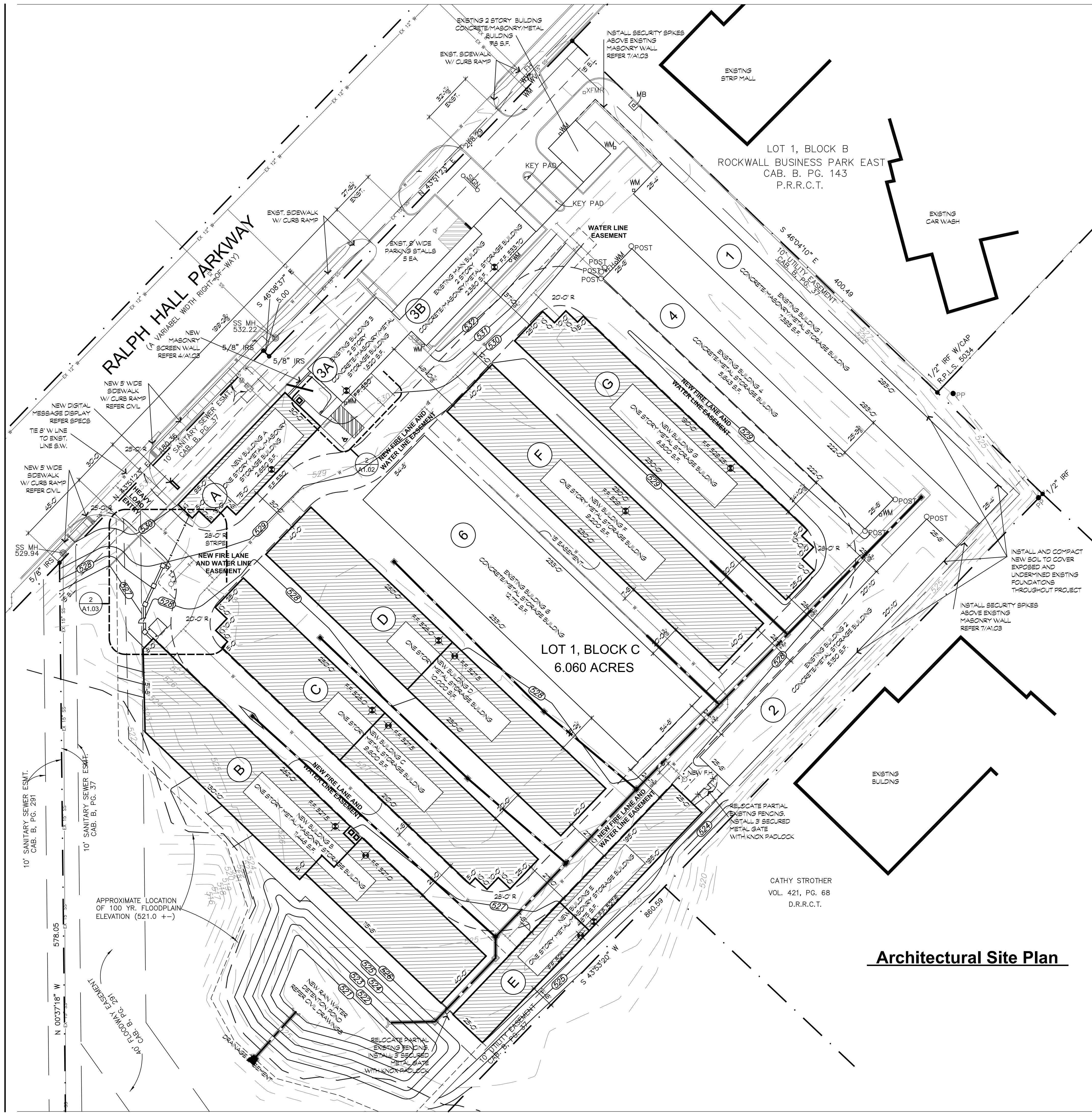
Local Amendments & NCTCOG Amendments

Property Information

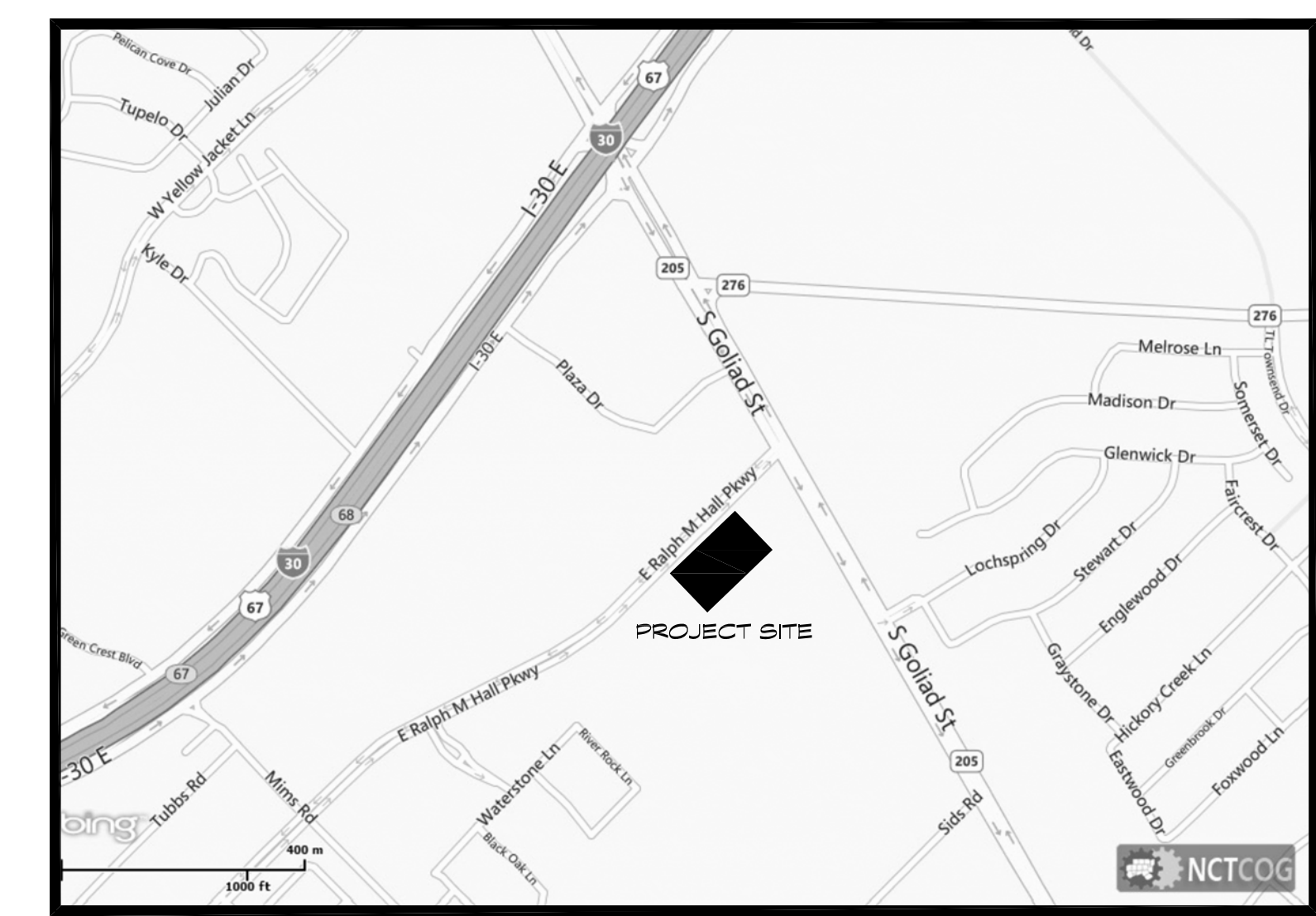
LEGAL DESCRIPTION:
Lot 1 - Block C, Rockwall Business Park East, Cab. B, SL, 37, P.R.R.C.T.
City of Rockwall, Rockwall County, Texas

LOT AREA:
263,974 SF (6.06 ACRES)
ZONING: C - COMMERCIAL
LAND USE: MIN. WAREHOUSE
SUP: CASE NUMBER TBD





Architectural Site Plan



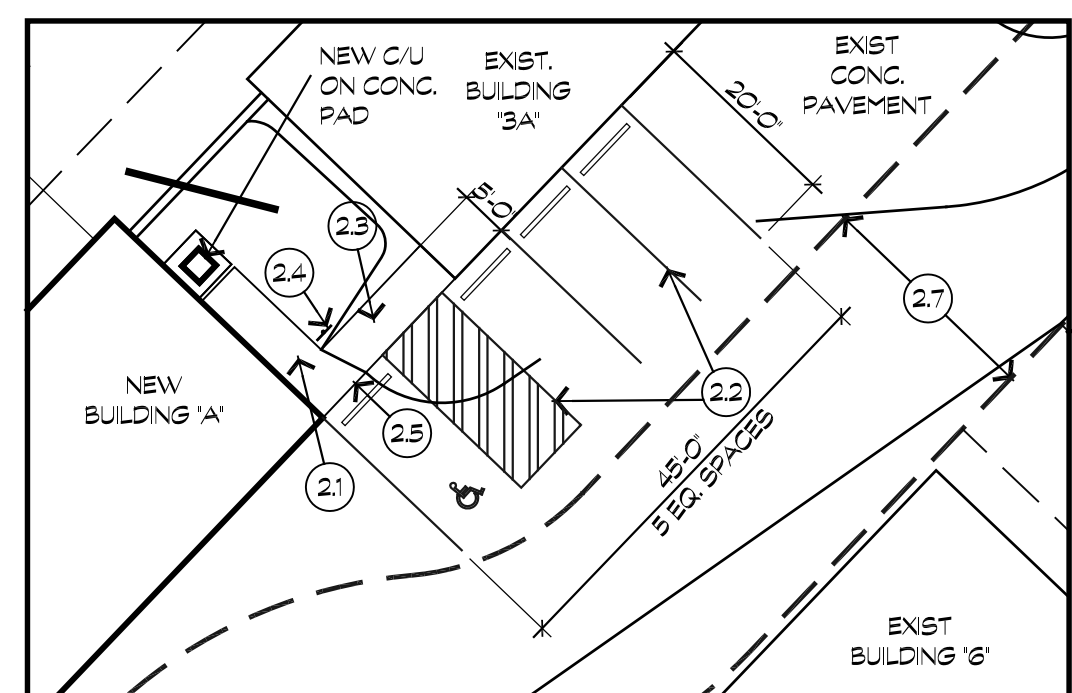
Vicinity Map
No Scale

Key Notes

- 1 SITE WORK
- 2 4" WIDE CONC. WALK
- 3 4" WIDE PAVEMENT MARKINGS
- 4 ADA COMPLIANT DETECTABLE WARNING RAMP, REFER 7/A1.03
- 5 HANDICAP SIGN-REFER CIVIL REFER 7/A1.03
- 6 6" CONCRETE CURB, REFER CIVIL
- 7 CITY OF ROCKWALL COMPLIANT FIRE LANE STRIPING
- 8 POWER OPERATED ROLLING ENTRY GATE W/ REMOTE KEYPAD

General Notes:

1) NEW MASONRY SCREEN SHALL HAVE PLASTERS AT MAX '3 O.C. SEE DETAILS ON SHEET A1.03



Enlarged Site Plan
Scale: 1/2"=1'-0"

Building Information

OWNER:
Jim Vaudagna
The Vault Self Storage
1280 E. Ralph Hall Parkway
Rockwall, Texas 75087

Jurisdiction of Project

REGULATORY AUTHORITIES:
City of Rockwall, Texas
385 South Goliad Street
Rockwall, Texas 75087
(972) 771-7700

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2015 International Mechanical Code with local amendments
2015 International Energy Conservation Code with local amendments
2015 International Existing Building Code with local amendments
2014 National Electrical Code with local amendments

Property Information

LEGAL DESCRIPTION:
Lot 1 - Block C, Rockwall Business Park East, Cab. B, SL. 37, P.R.R.C.T.
City of Rockwall, Rockwall County, Texas

LOT AREA:
263,974 SF (6.06 ACRES)
ZONING: C - COMMERCIAL
LAND USE: MINI-WAREHOUSE
SUP: CASE NUMBER TBD

Site Parking

See 6.5. Off-street parking requirements:
Mini-warehouse: 3 spaces plus 1 for each 100.
568 / 100 = 5.7 - 6 + 3 = 9
Provided: 7 existing + 4 new = 9 total

Drawing Index

	SHEET ISSUED
	DATE ISSUED
	LATEST REVISION NUMBER
01/01/00	XX
5.18.21	A1.02 COVER SHEET / SITE PLAN
5.18.21	A3.01 BUILDING 'A' ELEVATIONS
5.18.21	A3.02 BUILDING 'B' ELEVATIONS
5.18.21	A3.03 BUILDING 'C' ELEVATIONS
5.18.21	A3.04 BUILDING 'D' ELEVATIONS
5.18.21	A3.05 BUILDING 'E' ELEVATIONS
5.18.21	A3.06 BUILDING 'F' ELEVATIONS
5.18.21	A3.07 BUILDING 'G' ELEVATIONS

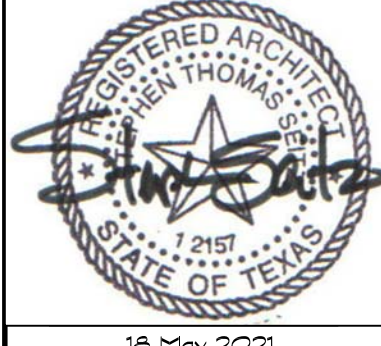
SUP Approval Submission
Facility Expansion
The Vault Self Storage
Rockwall, Texas

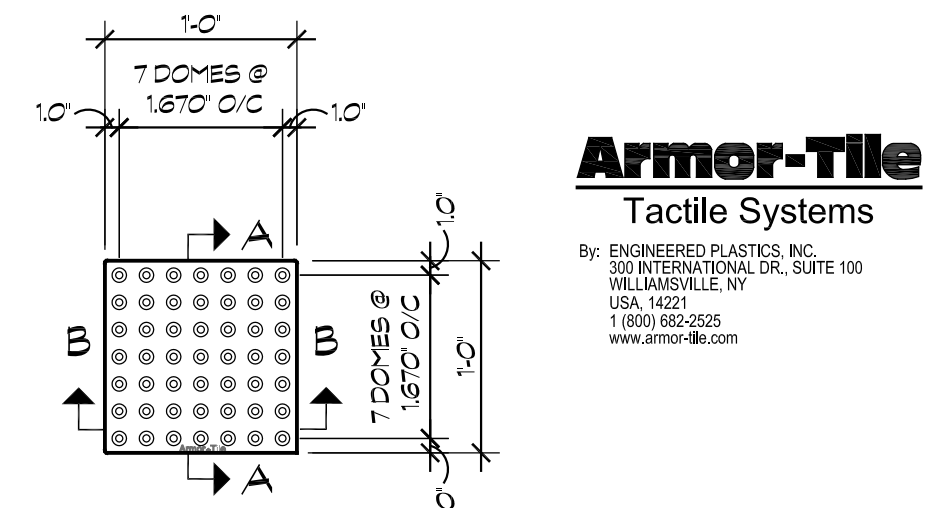
file #
21-004 SHe
project #
21-004
date
18 May 2021
revisions

sheet

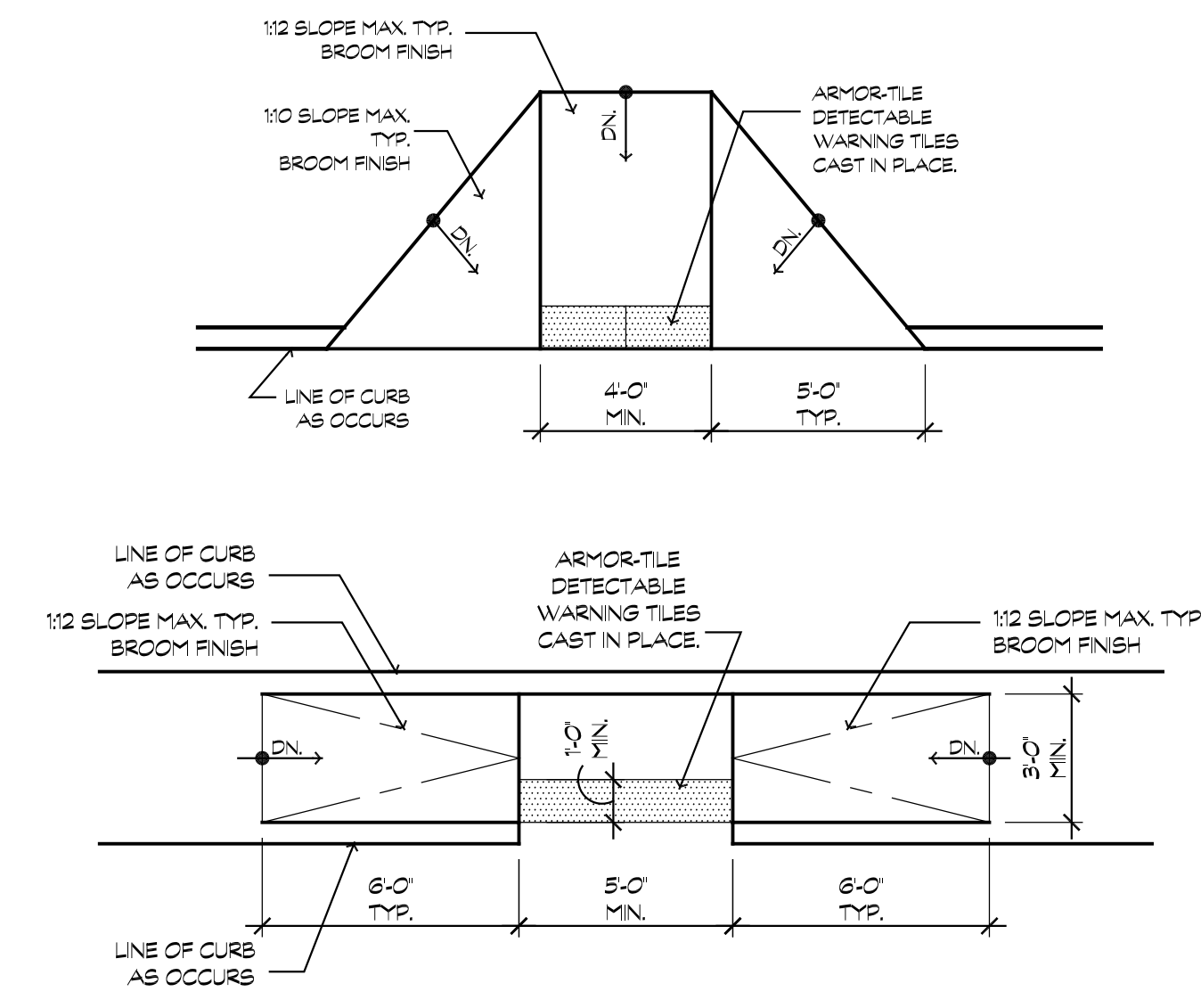
A1.02

Seitz Architects, Inc.
506 Mendowlake Lane, Heath, Texas 75032
214.537.9981 www.seitzarchitects.com



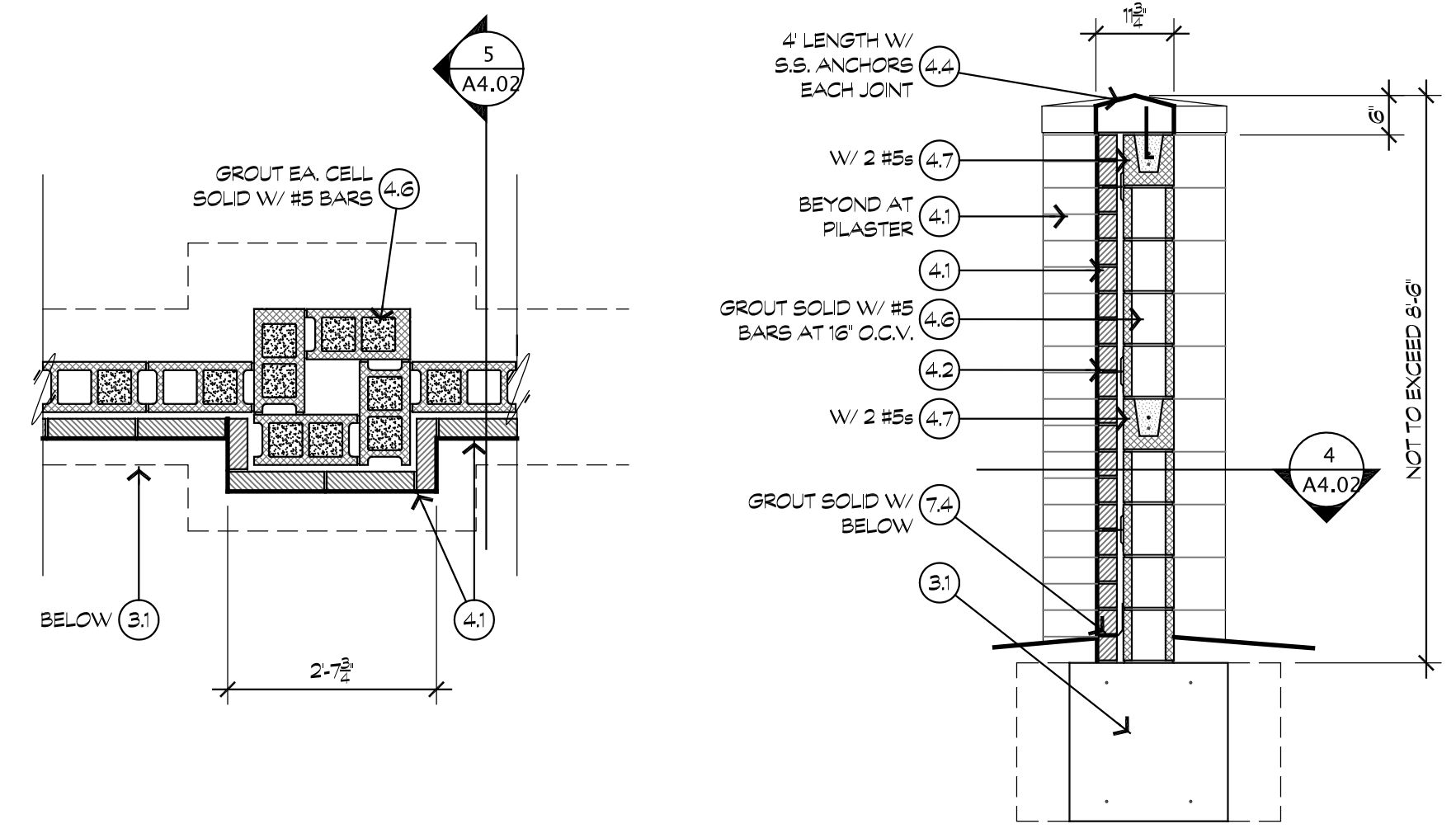


- NOTES:**
1. CAST IN PLACE INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. DO NOT SCALE DRAWINGS.
 2. FOR CUSTOM SIZING CONTACT MANUFACTURER.



1
A1.03
Scale: 1/4" = 1'-0"

Typical Curb Ramp Detail

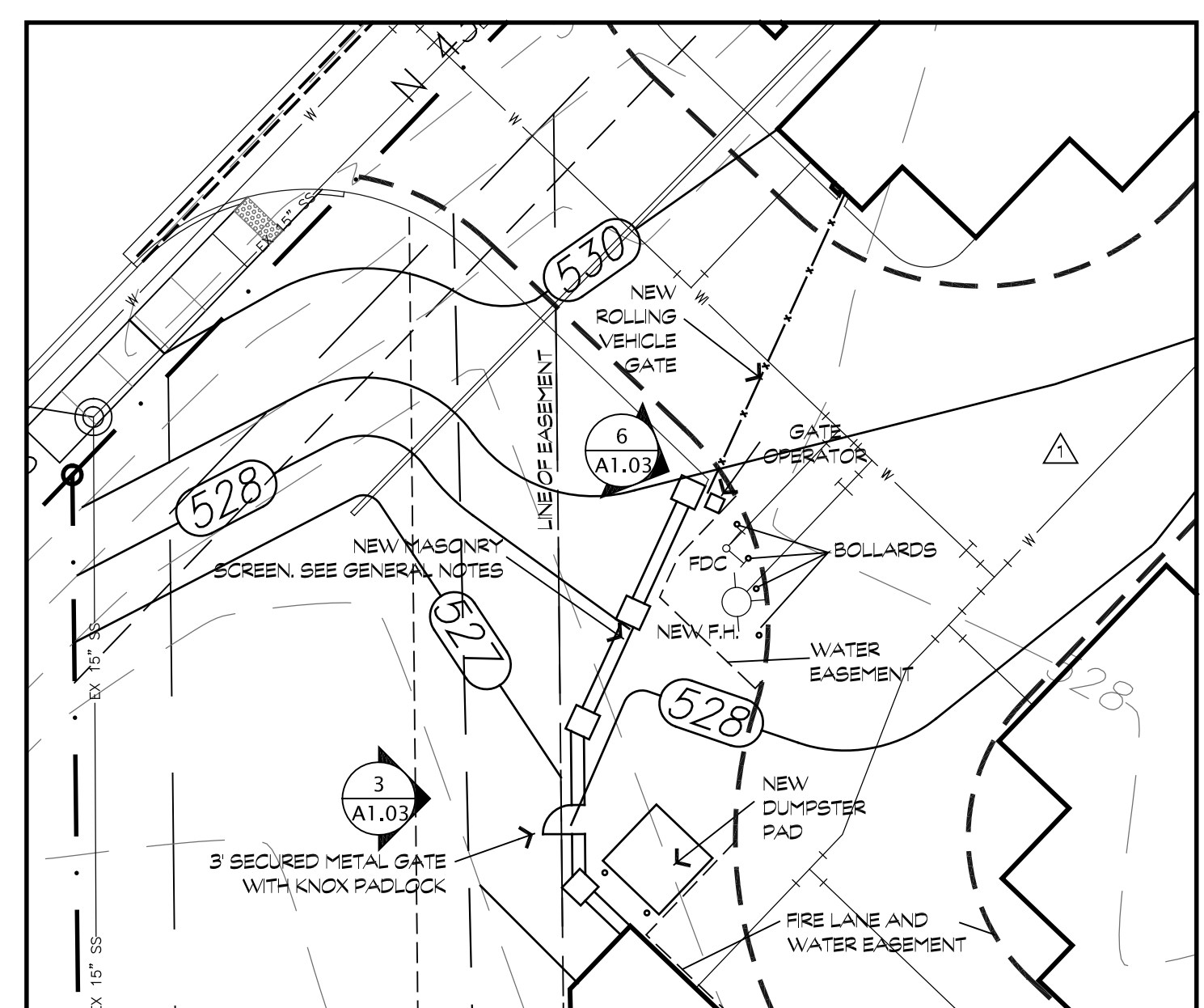


5
A1.03
Scale: 1/2" = 1'-0"

Screen Wall Plan Detail

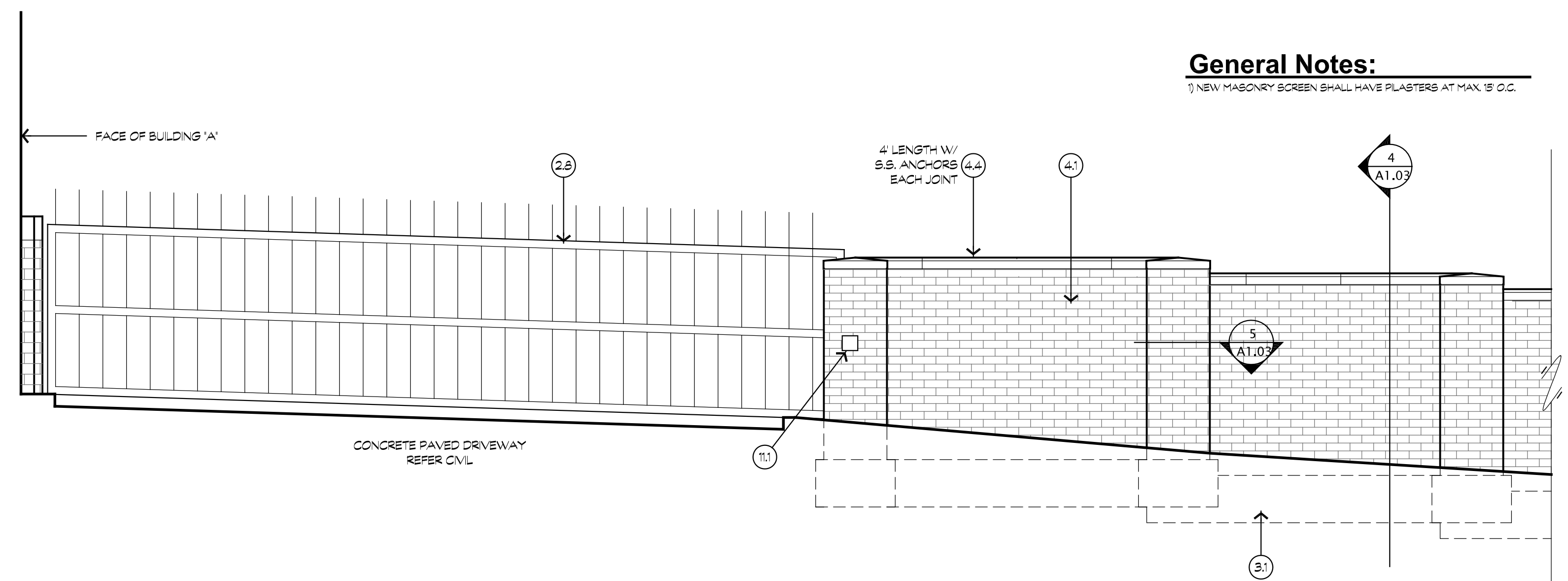
4
A1.03
Scale: 1/2" = 1'-0"

Screen Wall Section



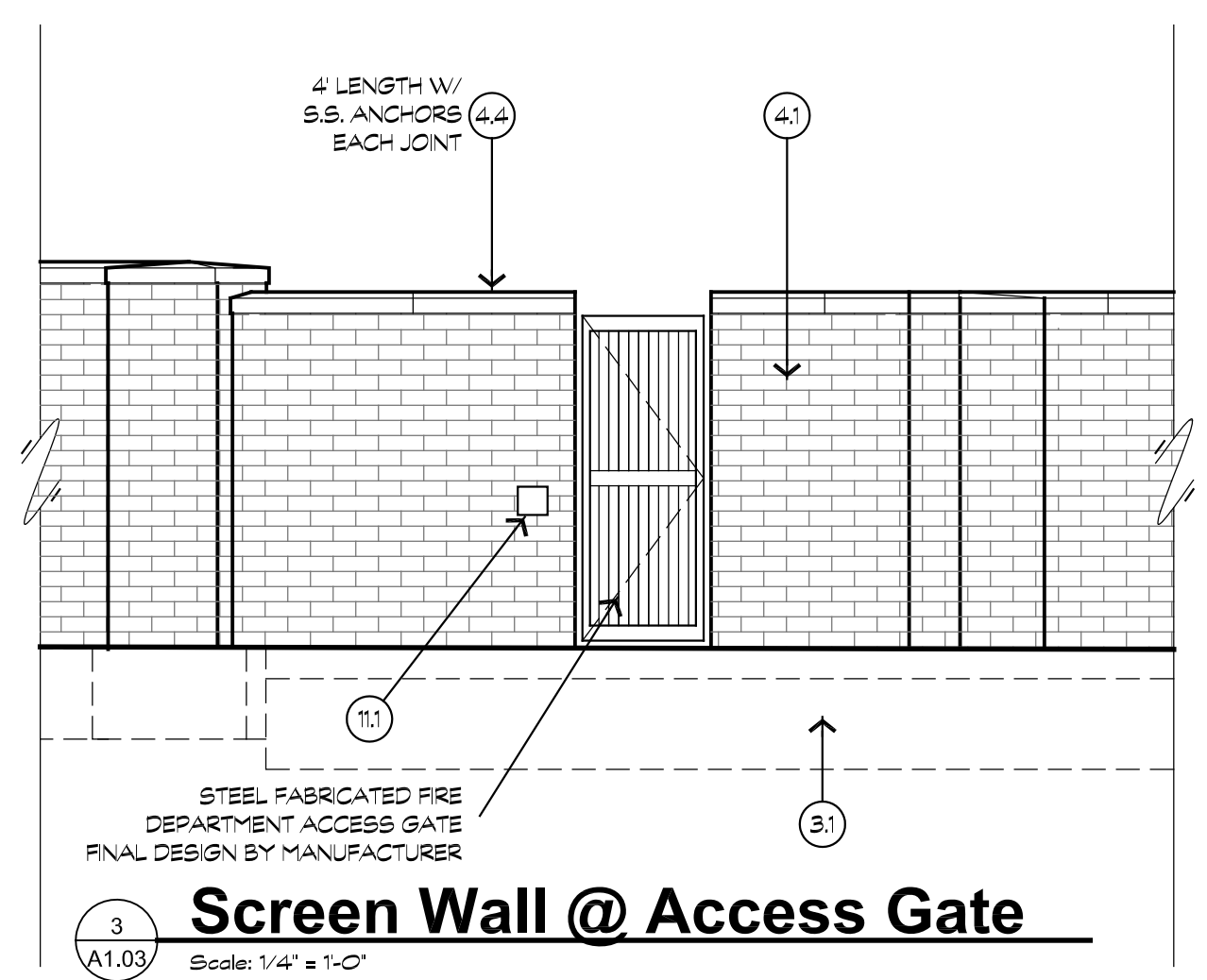
2
A1.03
Scale: 1/16" = 1'-0"

Enlarged Site Plan



6
A1.03
Scale: 1/4" = 1'-0"

Screen Wall @ Vehicle Gate



3
A1.03
Scale: 1/4" = 1'-0"

Screen Wall @ Access Gate

General Notes:

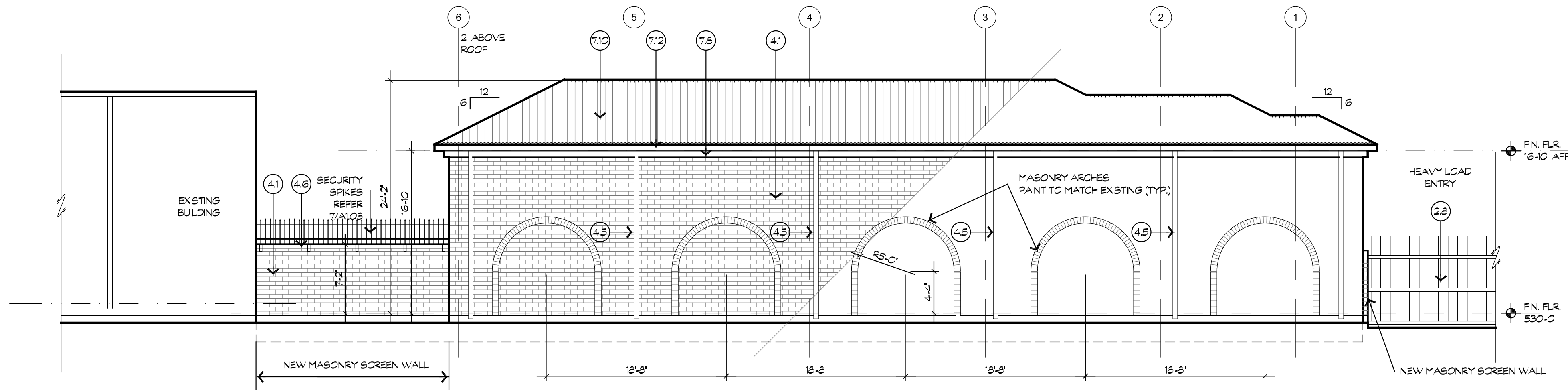
1) NEW MASONRY SCREEN SHALL HAVE PLASTERS AT MAX. 18" O.C.

- Key Notes**
- NOTE: REFER SHEET A0.00 FOR MATERIALS LEGEND
1. GENERAL REQUIREMENTS - NOT USED
 2. SITE WORK
 3. 4" THK. CONC. WALK
 4. ADA COMPLIANT DETECTABLE WARNING RAMP, REFER 1/A1.03
 5. HANDICAP SIGN, REFER CIVL
 6. CONCRETE CURB, REFER CIVL
 7. LANDSCAPING, REFER LANDSCAPE PLAN
 8. CITY OF ROCKWALL COMPLIANT FIRE LANE STRIPING
 9. POWER OPERATED ROLLING ENTRY GATE W/ REMOTE KEYPAD
 10. CONCRETE FOUNDATION, REFER STRUCTURAL
 11. PRE-FABRICATED CONCRETE SPLASH BLOCK
 12. MASONRY
 13. BRICK SHAPE TO MATCH EXIST., PAINT TO MATCH
 14. ADJUSTABLE MASONRY TIES PER MASONRY ADVISORY COUNCIL RECOMMENDATIONS
 15. MORTAR SCREEN
 16. CAST STONE CAP
 17. MASONRY CONTROL JOINT: 15'-0" MAX SPACING
 18. 8" CMU
 19. 8" CMU BOND BEAM
 20. METALS
 21. NOT USED
 22. MISC. METAL, SIZE AS INDICATED
 23. CONCRETE FILLED STEEL BOLLARD, REFER 5/A2.01
 24. WOODS & PLASTICS
 25. ROOF DECKING
 26. THERMAL AND MOISTURE PROTECTION
 27. CONT. 26 GA. GALV. METAL FLASHING
 28. VINYL FACED THERMAL BATT INSULATION AS NOTED
 29. AIR SPACE
 30. CONT. 24 GA. GALV. FLASHING W/ WEEP HOLES @ 18" O.C.
 31. SEALANT AND BACKER ROD
 32. 10 MIL. VAPOR BARRIER
 33. PRE FINISHED 26 GA. RAIN GUTTER AND DOWNSPOUTS
 34. EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.)
 35. #30 FELT
 36. CLAY SPANISH TILE TO MATCH EXIST.
 37. DOORS AND WINDOWS
 38. FRAME & DOOR, REFER DOOR TYPES
 39. ROLL-UP OVER HEAD DOOR, REFER DOOR TYPES
 40. FINISHES
 41. PARTITION PANEL METAL STUD BY MTL. BLDG. MANUF.
 42. 1/2" GYPSUM BOARD
 43. FIBERGLASS REINFORCED PLASTIC
 44. SPECIALTIES - NOT USED
 45. EQUIPMENT
 46. FIRE DEPARTMENT KEY LOCK BOX
 47. FURNISHINGS - NOT USED
 48. SPECIAL CONSTRUCTION
 49. WIRE-ENGINEERED METAL BUILDING FRAME BY MTL. BLDG. MFR.
 50. PRE-FINISHED INTERIOR METAL WALL PANEL BY MTL. BLDG. MFR.
 51. LIGHT GAGE SECONDARY FRAMING BY MTL. BLDG. MFR.
 52. STANDING SEAM METAL ROOFING BY MTL. BLD. MANUF.
 53. PRE-FINISHED METAL WALL PANEL BY MTL. BLD. MANUF.
 54. PRE-FINISHED METAL TRIM BY MTL. BLDG. MANUF.
 55. PRE-FINISHED INTERIOR METAL PARTITION PANEL BY MTL. BLDG. MANUF.
 56. PRE-FINISHED METAL SOFFIT/CEILING PANEL BY MTL. BLDG. MANUF.
 57. CONVEYING SYSTEMS - NOT USED
 58. MECHANICAL
 59. PLUMBING FIXTURE, REFER PLUMBING
 60. ELECTRICAL
 61. LIGHT FIXTURE, REFER TO ELECTRICAL

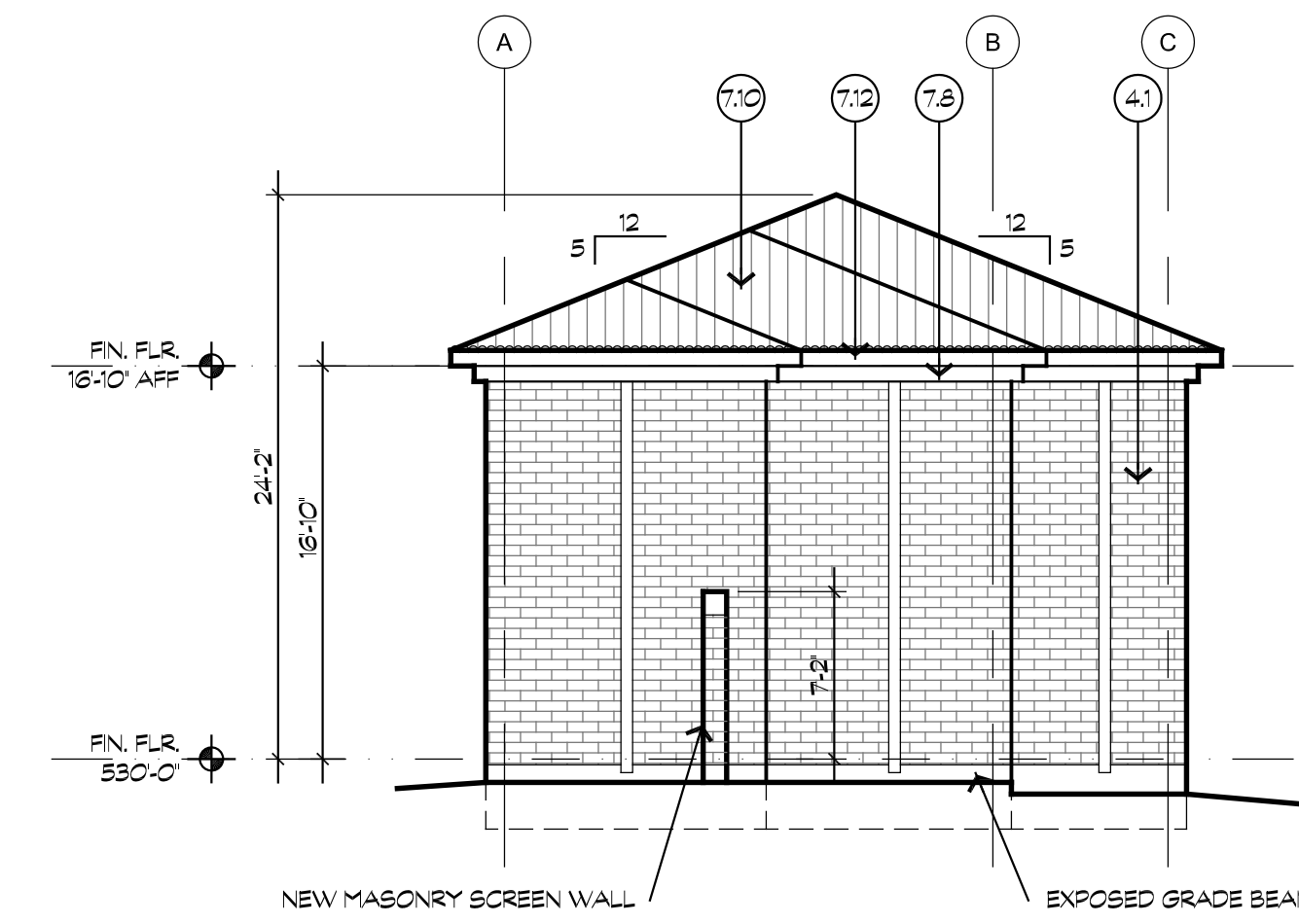


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project #	21-004
date	16 May 2021
revisions	

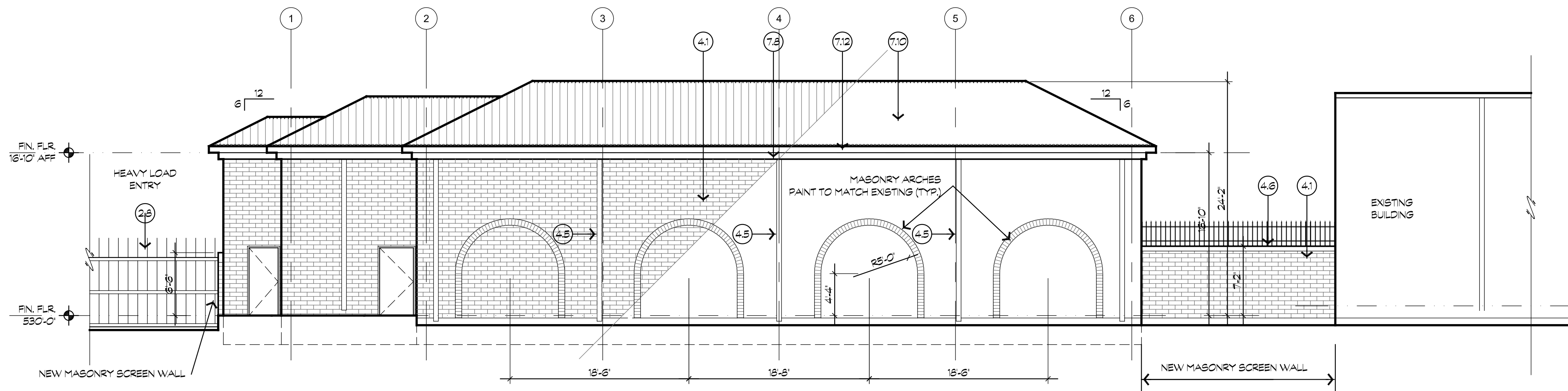
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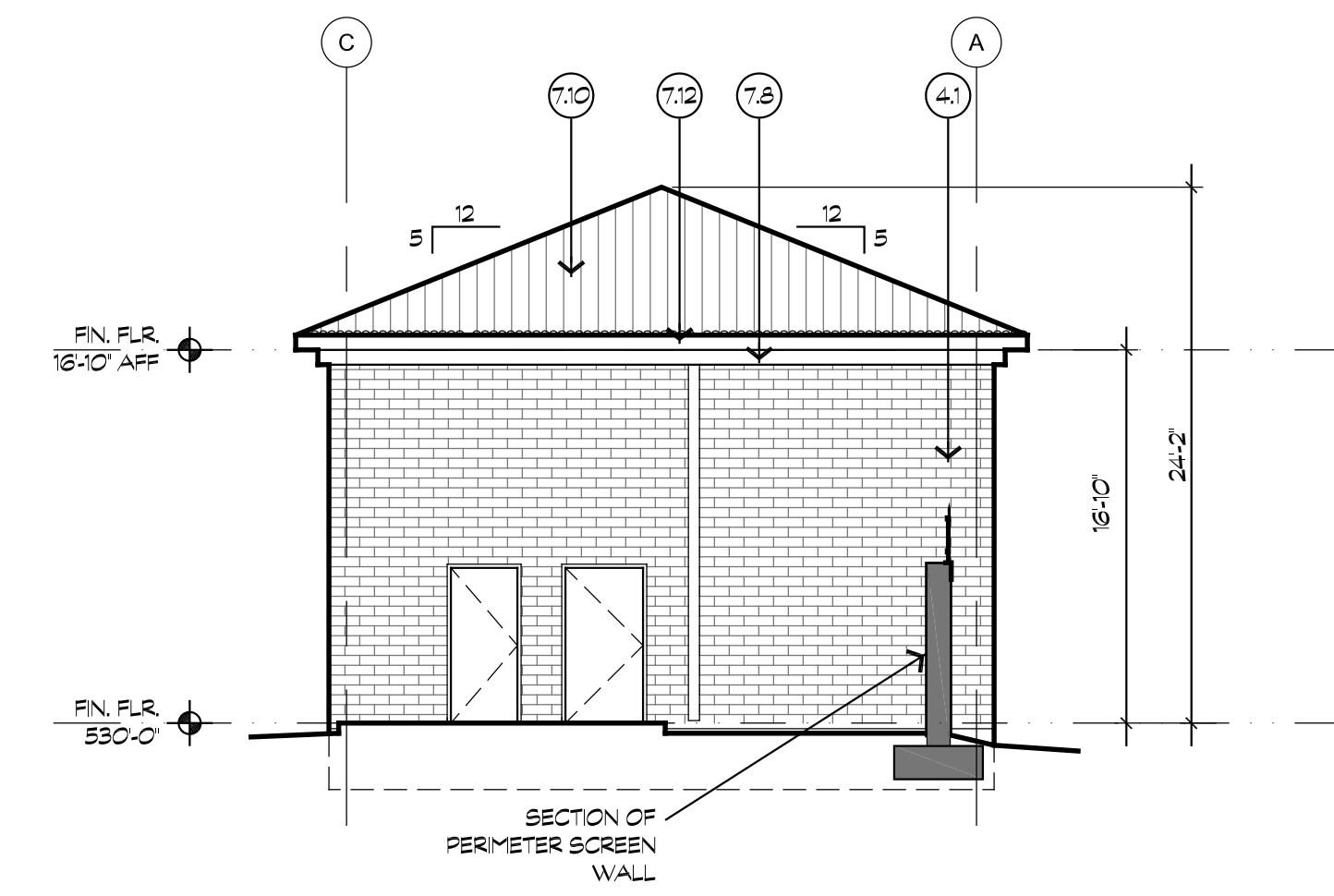
1 Bldg. "A" North Elevation
Scale: 1/8"=1'-0"



2 Bldg. "A" West Elevation
Scale: 1/8"=1'-0"



3 Bldg. "A" South Elevation
Scale: 1/8"=1'-0"

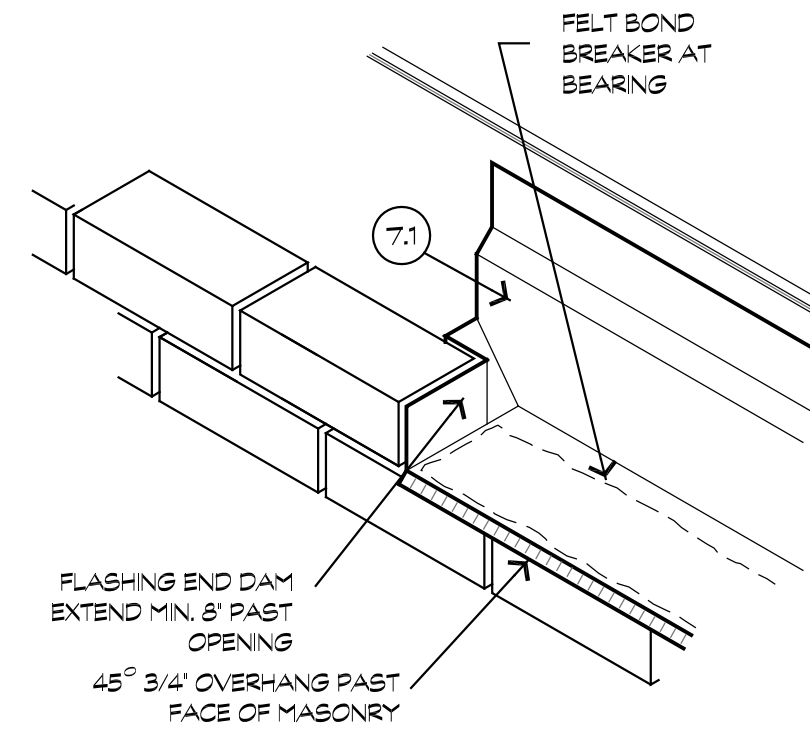


4 Bldg. "A" East Elevation
Scale: 1/8"=1'-0"

Steel Lintel Schedule		
CLEAR SPAN	SIZE	MIN. BEARING LENGTH
UP TO 4'-0"	L 3 1/2" X 3 1/2" X 1/4"	8"
TO 6'-0"	L 4" X 3 1/2" X 1/4"	8"
TO 8'-0"	L 4" X 3 1/2" X 5/16"	8"
TO 8'-0"	L 5" X 3 1/2" X 5/16"	8"
TO 12'-0"	W 8 X 10	8"

STEEL LINTEL NOTES:

1. PLACE ANGLES WITH LONG LEG VERTICAL



5 Typ. Masonry Head Flashing
Scale: 1/2" = 1'-0"

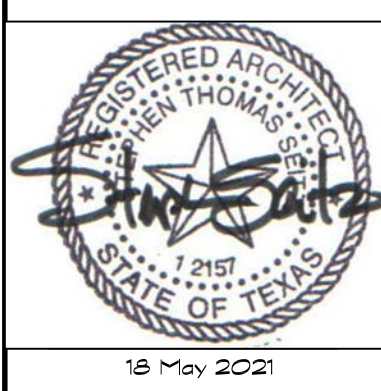
Key Notes

"NOTE:
REFER SHEET A0.00 FOR MATERIALS LEGEND
GENERAL REQUIREMENTS-NOT USED

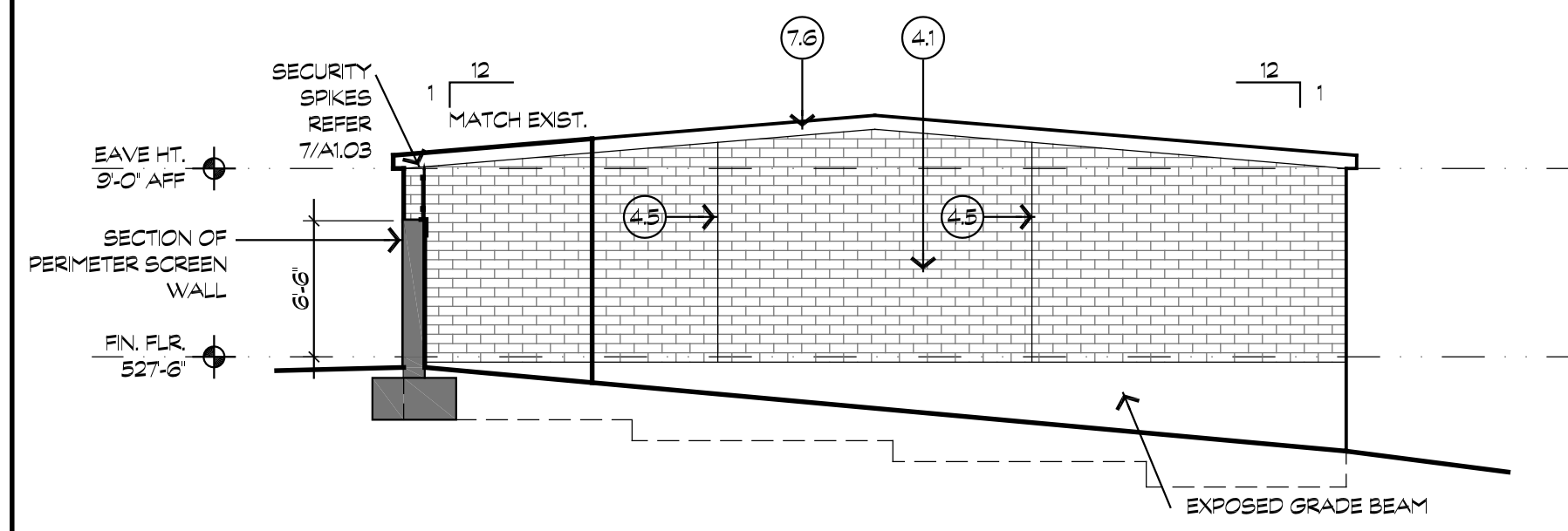
- 2.1 SITE WORK
- 2.2 4" THICK CONC. WALK
- 2.3 4" WIDE PAVEMENT MARKINGS
- 2.4 ADA COMPLIANT DETECTABLE WARNING RAMP, REFER 1/A1.03
- 2.5 HANDICAP SIGN-REFER CIVIL
- 2.6 CONCRETE CURB, REFER CIVIL
- 2.7 LANDSCAPING, REFER LANDSCAPE PLAN
- 2.8 CITY OF ROCKWALL COMPLIANT FIRE LANE STRIPING
- 2.9 POWER OPERATED ROLLING ENTRY GATE W/ REMOTE KEYPAD
- 3 CONCRETE
- 3.1 CONCRETE FOUNDATION, REFER STRUCTURAL
- 3.2 PRE-FABRICATED CONCRETE SPLASH BLOCK
- 4 MASONRY
- 4.1 BRICK SHAPE TO MATCH EXIST., PAINT TO MATCH
- 4.2 ADJUSTABLE MASONRY TIES PER MASONRY ADVISORY COUNCIL RECOMMENDATIONS
- 4.3 TORSTAR SCREEN
- 4.4 CAST STONE CAP
- 4.5 MASONRY CONTROL JOINT: 15'-0" MAX SPACING
- 4.6 CMU
- 4.7 CMU BOND BEAM
- 5 METALS
- 5.1 NOT USED
- 5.2 1/2" O.C. METAL SIZE AS INDICATED
- 5.3 CONCRETE FILLED STEEL SOLLARD, REFER 5/A2.01
- 6 WOODS & PLASTICS
- 6.1 ROOF DECKING

- 7 THERMAL AND MOISTURE PROTECTION
- 7.1 CONT. 26 GA. GALV. METAL FLASHING
- 7.2 VINYL FACED THERMAL BATT INSULATION AS NOTED
- 7.3 AIR SPACE
- 7.4 CONT. 24 GA. GALV. FLASHING W/ WEEP HOLES @ 2'-0" O.C.
- 7.5 SEALANT AND BACKER ROD
- 7.6 10 MIL. VAPOR BARRIER
- 7.7 PRE FINISHED 26 GA. RAIN GUTTER AND DOWNSPOUTS
- 7.8 EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.)
- 7.9 #30 FELT
- 7.10 CLAY SPANISH TILE TO MATCH EXIST
- 8 DOORS AND WINDOWS
- 8.1 FRAME & DOOR, REFER DOOR TYPES
- 8.2 ROLL-UP OVER HEAD DOOR, REFER DOOR TYPES
- 9 FINISHES
- 9.1 PARTITION PANEL METAL STUD BY MTL. BLDG. MANUF.
- 9.2 GYPSUM BOARD
- 9.3 FIBERGLASS REINFORCED PLASTIC
- 10 SPECIALTIES - NOT USED
- 11 EQUIPMENT
- 11.1 FIRE DEPARTMENT KEY LOCK BOX
- 12 FURNISHINGS - NOT USED

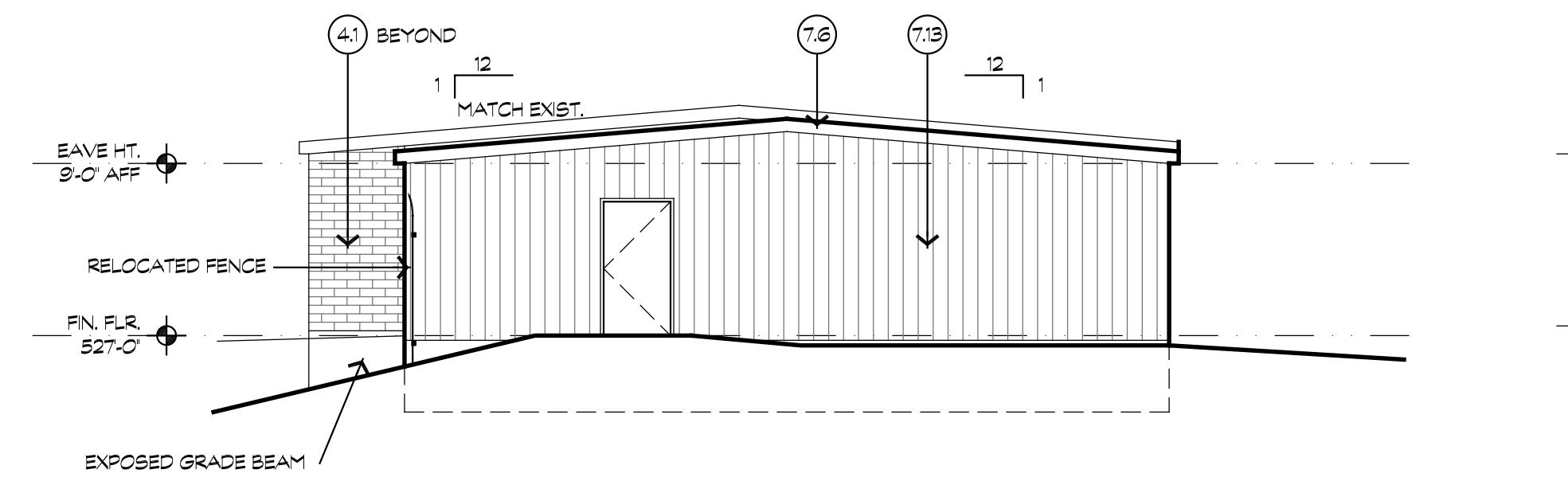
- 13 SPECIAL CONSTRUCTION
- 13.1 PRE-ENGINEERED METAL BUILDING FRAME BY MTL. BLDG. MFR
- 13.2 PRE-FINISHED INTERIOR METAL WALL PANEL BY MTL. BLDG. MFR
- 13.3 LIGHT GAGE SECONDARY FRAMING BY MTL. BLDG. MFR
- 13.4 STANDING SEAM METAL ROOFING BY MTL. BLD. MANUF.
- 13.5 PRE-FINISHED METAL WALL PANEL BY MTL. BLD. MANUF.
- 13.6 PRE-FINISHED METAL TRIM BY MTL. BLDG. MANUF.
- 13.7 PRE-FINISHED INTERIOR METAL PARTITION PANEL BY MTL. BLDG. MANUF.
- 13.8 PRE-FINISHED METAL SOFFIT/CEILING PANEL BY MTL. BLDG. MANUF.
- 14 CONVEYING SYSTEMS - NOT USED
- 15 MECHANICAL
- 15.1 PLUMBING FIXTURE, REFER PLUMBING
- 16 ELECTRICAL
- 16.1 LIGHT FIXTURE, REFER TO ELECTRICAL



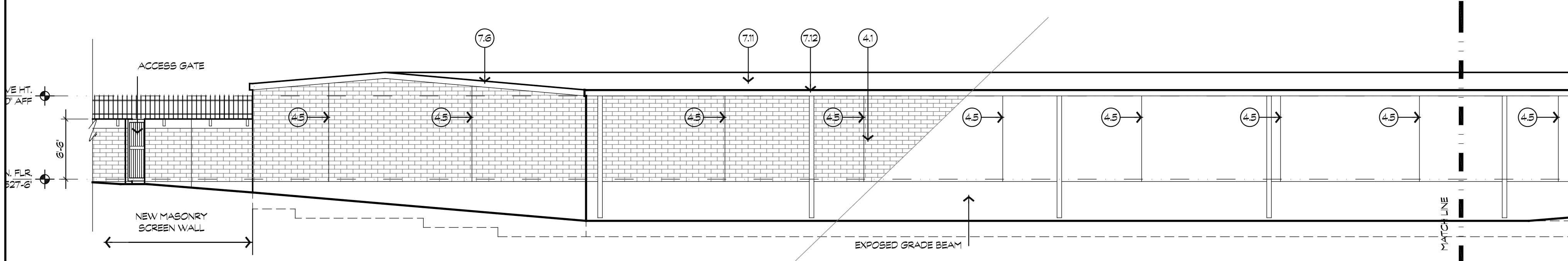
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project #	21-004
date	18 May 2021
revisions	
sheet	



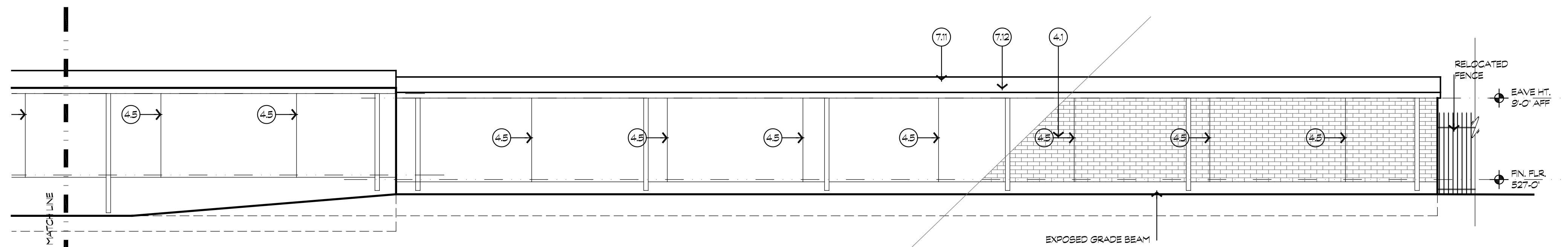
1 Bldg. "B" North Elevation
 A3.02 Scale: 1/8"=1'-0"



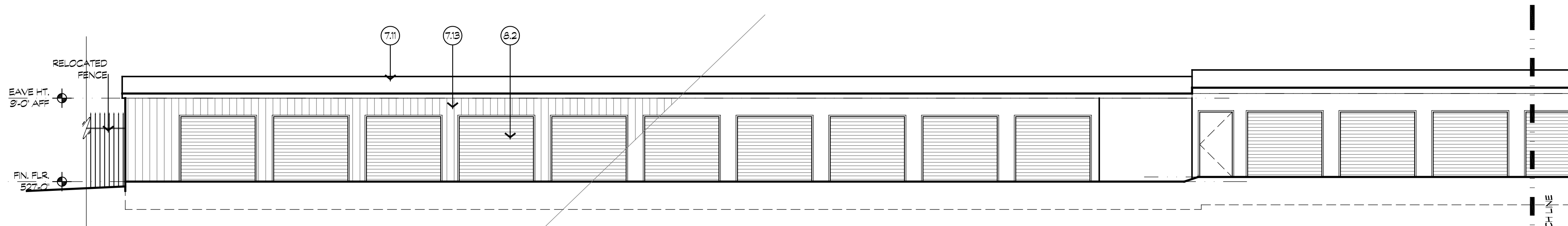
2 Bldg. "B" South Elevation
 A3.02 Scale: 1/8"=1'-0"



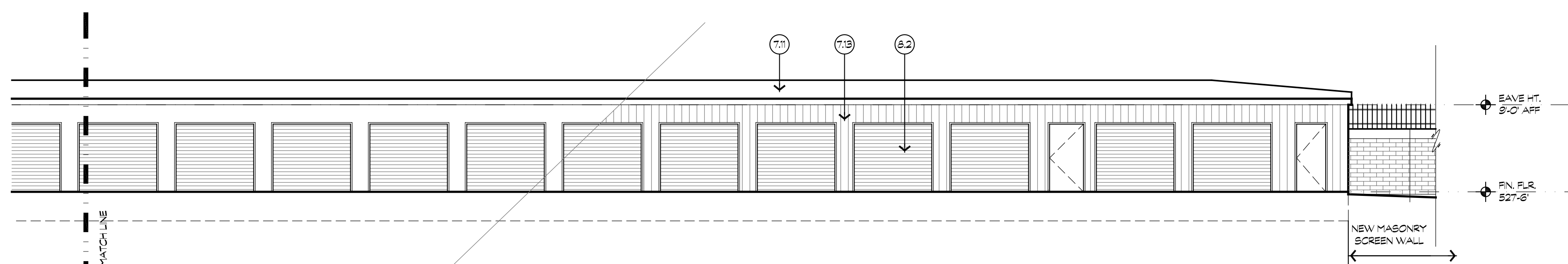
3 Bldg. "B" West Elevation
 A3.02 Scale: 1/8"=1'-0"



4 Bldg. "B" West Elevation
 A3.02 Scale: 1/8"=1'-0"



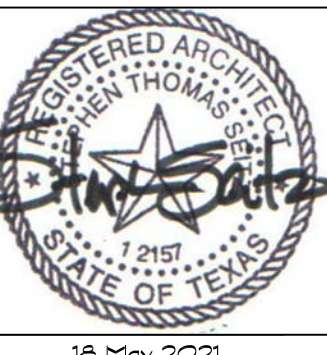
4 Bldg. "B" East Elevation
 A3.02 Scale: 1/8"=1'-0"

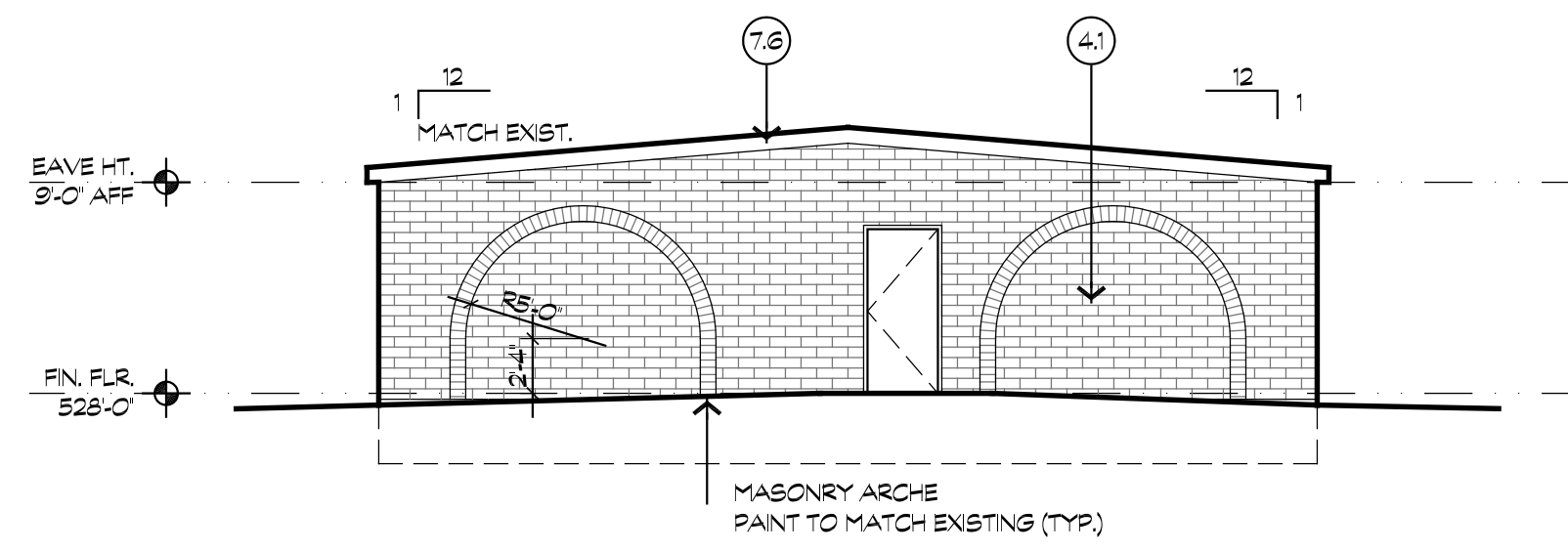


4 Bldg. "B" East Elevation
 A3.02 Scale: 1/8"=1'-0"

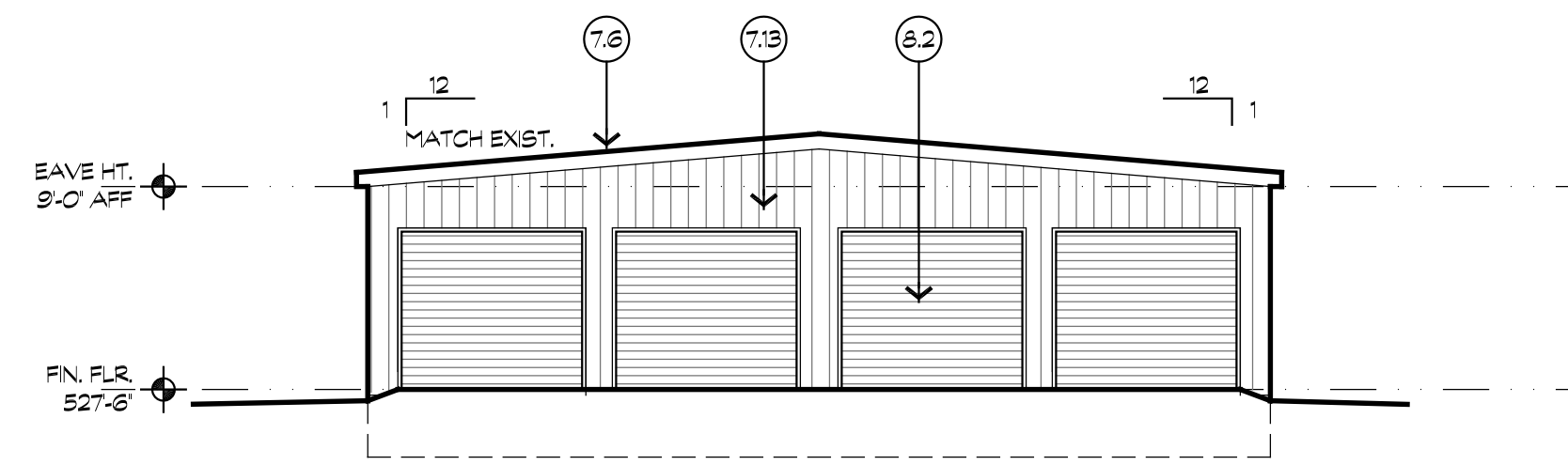
Key Notes

- NOTE:
REFER SHEET A0.00 FOR MATERIALS LEGEND
- 1 GENERAL REQUIREMENTS-NOT USED
- 2 SITE WORK
- 3 4" THK CONC. WALK
- 4 ADA COMPLIANT DETECTABLE WARNING RAMP, REFER 7A1.03
- 5 HANDICAP SIGN, REFER CIVIL
- 6 CONCRETE CURB, REFER CIVIL
- 7 LANDSCAPING, REFER LANDSCAPE PLAN
- 8 CITY OF ROCKWALL COMPLIANT FIRE LANE STRIPING
- 9 POWER OPERATED ROLLING ENTRY GATE W/ REMOTE KEYPAD
- 10 CONCRETE FOUNDATION, REFER STRUCTURAL
- 11 PRE-FABRICATED CONCRETE SPLASH BLOCK
- 12 MASONRY
- 13 BASIC SHAPE TO MATCH EXIST. PAINT TO MATCH
- 14 ADJUSTABLE MASONRY TIES PER MASONRY ADVISORY COUNCIL RECOMMENDATIONS
- 15 MORTAR SCREEN
- 16 CAST STONE GAB
- 17 MASONRY CONTROL JOINT: 15'-0" MAX SPACING
- 18 9" C/CU
- 19 C/CU BOND BEAM
- 20 METALS
- 21 NOT USED
- 22 MISC. METAL, SIZE AS INDICATED
- 23 CONCRETE FILLED STEEL BOLLARD, REFER 5/A2.01
- 24 WOODS & PLASTICS
- 25 T ROOF DECKING
- 26 THERMAL AND MOISTURE PROTECTION
- 27 CONT. 26 GA GALV. METAL FLASHING
- 28 VINYL FACED THERMAL BATT INSULATION AS NOTED
- 29 AIR SPACE
- 30 CONT. 24 GA GALV. FLASHING W/ WEEP HOLES @ 24" O.C.
- 31 SEALANT AND BACKER ROD
- 32 10 MIL VAPOR BARRIER
- 33 PRE FINISHED 26 GA. RAIN GUTTER AND DOWNSPOUTS
- 34 EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.)
- 35 #30 FELT
- 36 CLAY SPANISH TILE TO MATCH EXIST
- 37 DOORS AND WINDOWS
- 38 FRAME & DOOR, REFER DOOR TYPES
- 39 ROLL-UP OVER HEAD DOOR, REFER DOOR TYPES
- 40 FINISHES
- 41 PARTITION PANEL METAL STUD BY MTL. BLDG. MANUF.
- 42 GYPSUM BOARD
- 43 FIBERGLASS REINFORCED PLASTIC
- 44 SPECIALTIES - NOT USED
- 45 EQUIPMENT
- 46 FIRE DEPARTMENT KEY LOCK BOX
- 47 FURNISHINGS - NOT USED
- 48 SPECIAL CONSTRUCTION
- 49 PRE-ENGINEERED METAL BUILDING FRAME BY MTL. BLDG. MFR
- 50 PRE-FINISHED INTERIOR METAL WALL PANEL BY MTL. BLDG. MFR
- 51 LIGHT GAGE SECONDARY FRAMING BY MTL. BLDG. MFR
- 52 STANDING SEAM METAL ROOFING BY MTL. BLD. MANUF.
- 53 PRE-FINISHED METAL WALL PANEL BY MTL. BLD. MANUF.
- 54 PRE-FINISHED METAL TRIM BY MTL. BLDG. MANUF.
- 55 PRE-FINISHED INTERIOR METAL PARTITION PANEL BY MTL. BLDG. MANUF.
- 56 PRE-FINISHED METAL SOFFIT/CEILING PANEL BY MTL. BLDG. MANUF.
- 57 CONVEYING SYSTEMS - NOT USED
- 58 MECHANICAL
- 59 PLUMBING FIXTURE, REFER PLUMBING
- 60 ELECTRICAL
- 61 LIGHT FIXTURE, REFER TO ELECTRICAL

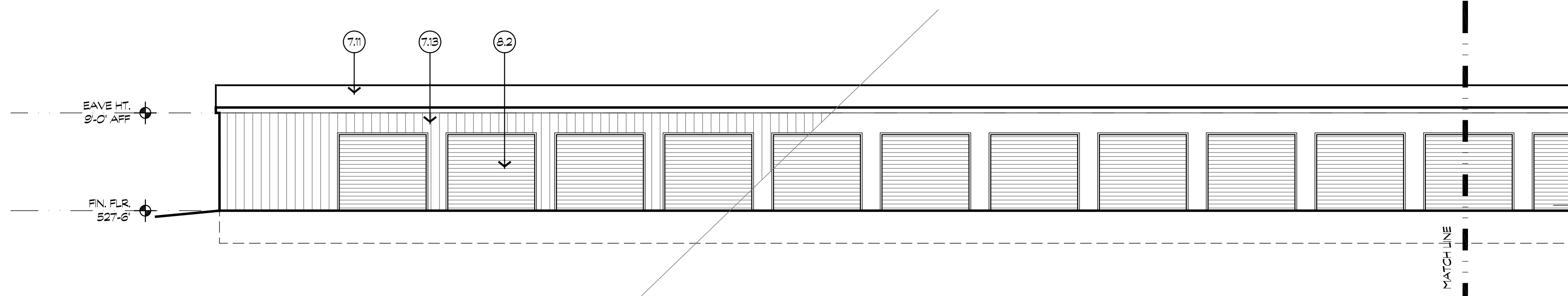




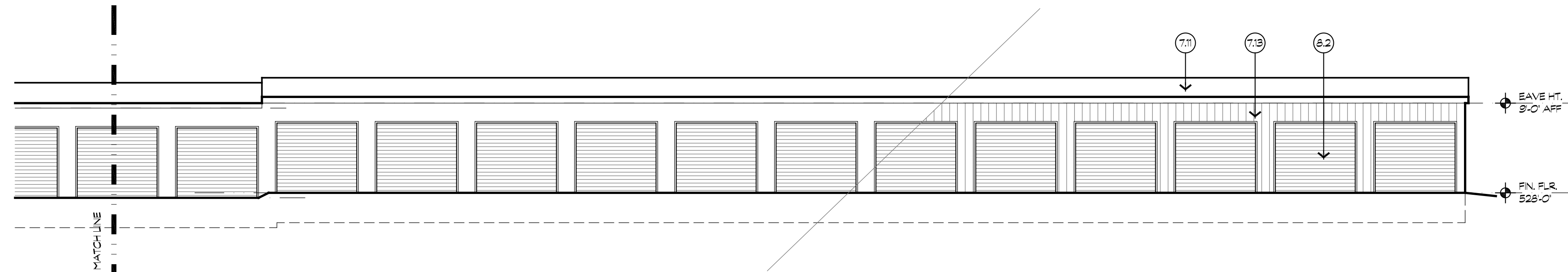
1 **Bldg. "D" North Elevation**
Scale: 1/8"=1'-0"



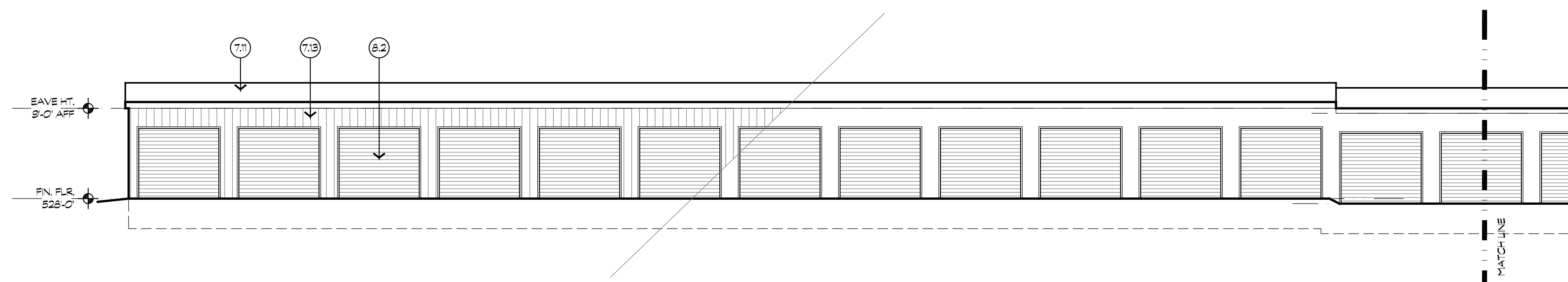
2 **Bldg. "D" South Elevation**
Scale: 1/8"=1'-0"



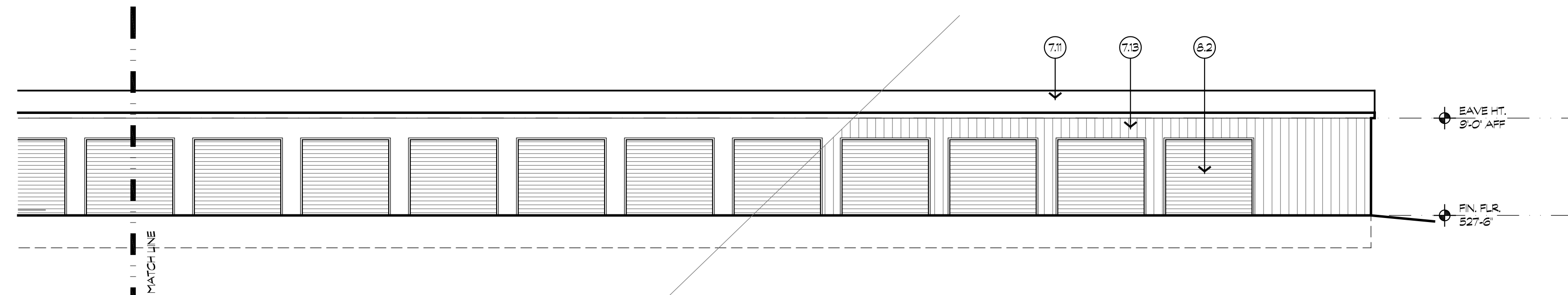
3 **Bldg. "D" East Elevation**
Scale: 1/8"=1'-0"



4 **Bldg. "D" East Elevation**
Scale: 1/8"=1'-0"



5 **Bldg. "D" West Elevation**
Scale: 1/8"=1'-0"



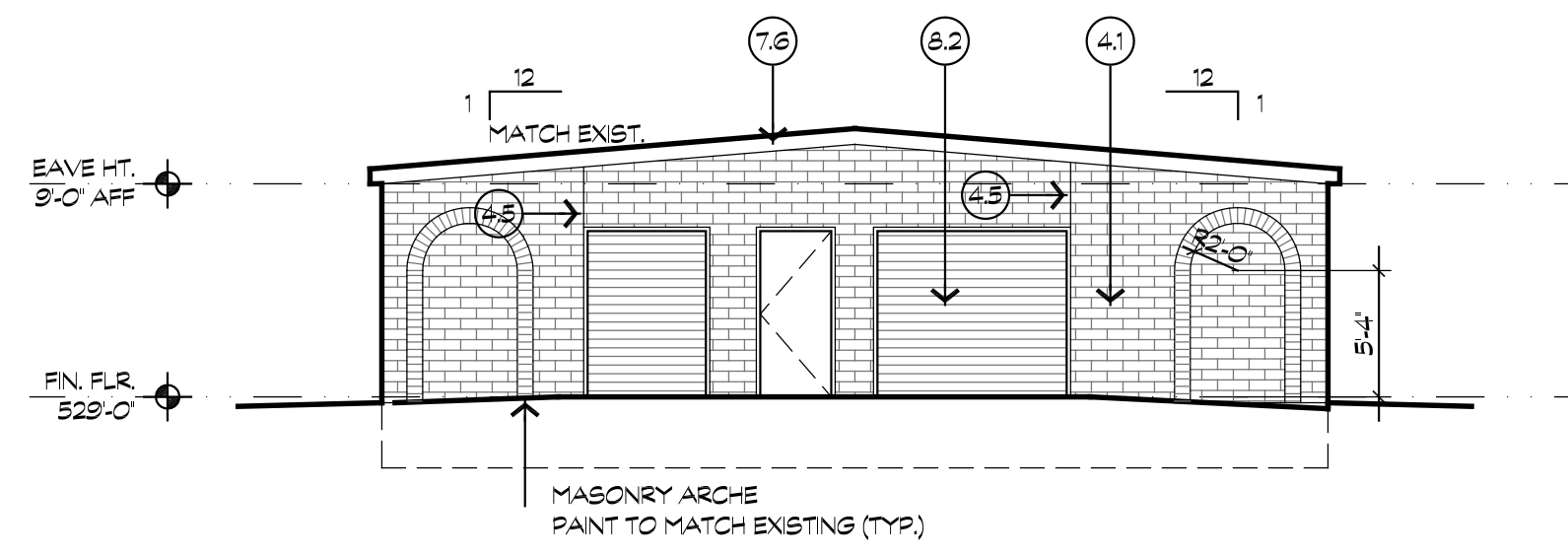
6 **Bldg. "D" West Elevation**
Scale: 1/8"=1'-0"

GENERAL NOTES:
1) REFER SHEET A2.01 FOR TYPICAL STEEL UNTEL SIZES AND HEAD FLASHING DETAIL.

Key Notes

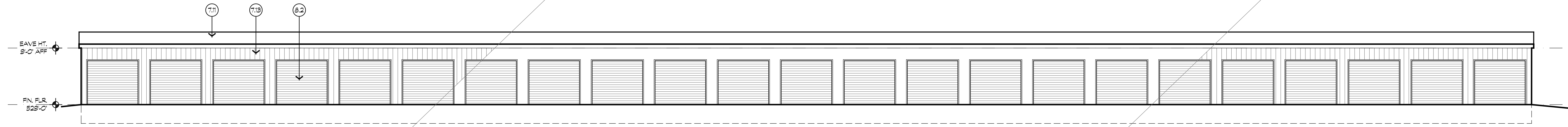
- NOTE:
REFER SHEET A0.00 FOR MATERIALS LEGEND
- 1 GENERAL REQUIREMENTS-NOT USED
 - 2 SITE WORK
 - 3 4" THK. CONC. WALK
 - 4 WIDE PAVEMENT MARKINGS
 - 5 ADA COMPLIANT DETECTABLE WARNING RAMP, REFER 1/A1.03
 - 6 HANDICAP SIGN-REFER CIVIL
 - 7 6" CONCRETE CURB, REFER CIVIL
 - 8 LANDSCAPING, REFER LANDSCAPE PLAN
 - 9 CITY OF ROCKWALL COMPLIANT FIRE LANE STRIPING
 - 10 POWER OPERATED ROLLING ENTRY GATE W/ REMOTE KEYPAD
 - 11 CONCRETE
 - 12 CONCRETE FOUNDATION, REFER STRUCTURAL
 - 13 PREFABRICATED CONCRETE SPLASH BLOCK
 - 14 MASONRY
 - 15 BRICK SHAPE TO MATCH EXST., PAINT TO MATCH
 - 16 ADJUSTABLE MASONRY TIES PER MASONRY ADVISORY COUNCIL RECOMMENDATIONS
 - 17 MORTAR SCREEN
 - 18 CAS. STONE CAP
 - 19 MASONRY CONTROL JOINT: 15'-0" MAX SPACING
 - 20 8" CMU
 - 21 8" CMU BOND BEAM
 - 22 METALS
 - 23 NOT USED
 - 24 MISC. METAL, SIZE AS INDICATED
 - 25 CONCRETE FILLED STEEL BOLLARD, REFER 5/A2.01
 - 26 WOODS & PLASTICS
 - 27 ROOF DECKING
 - 28 THERMAL AND MOISTURE PROTECTION
 - 29 CONT. 26 GA. GALV. METAL FLASHING
 - 30 VINYL FACED THERMAL BATT INSULATION AS NOTED
 - 31 AIR SPACE
 - 32 CONT. 24 GA. GALV. FLASHING W/ WEEP HOLES @ 1'-0" O.C.
 - 33 SEALANT AND BACKER ROD
 - 34 10 MIL. VAPOR BARRIER
 - 35 PRE FINISHED 26 GA. RAIN GUTTER AND DOWNSPOUTS
 - 36 EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.)
 - 37 #20 FELT
 - 38 CLAY SPANISH TILE TO MATCH EXIST
 - 39 DOORS AND WINDOWS
 - 40 FRAMES & DOOR, REFER DOOR TYPES
 - 41 ROLL-UP OVER HEAD DOOR, REFER DOOR TYPES
 - 42 FINISHES
 - 43 PARTITION PANEL METAL STUD BY MTL. BLDG. MANUF.
 - 44 1/2" GYPSUM BOARD
 - 45 FIBERGLASS REINFORCED PLASTIC
 - 46 SPECIALTIES - NOT USED
 - 47 EQUIPMENT
 - 48 FIRE DEPARTMENT KEY LOCK BOX
 - 49 FURNISHINGS - NOT USED
 - 50 SPECIAL CONSTRUCTION
 - 51 PRE-ENGINEERED METAL BUILDING FRAME BY MTL. BLDG. MFR.
 - 52 PRE-FINISHED INTERIOR METAL WALL PANEL BY MTL. BLDG. MFR.
 - 53 LIGHT GAGE SECONDARY FRAMING BY MTL. BLDG. MFR.
 - 54 STANDING SEAM METAL ROOFING BY MTL. BLD. MANUF.
 - 55 PRE-FINISHED METAL WALL PANEL BY MTL. BLD. MANUF.
 - 56 PRE-FINISHED METAL TRIM BY MTL. BLDG. MANUF.
 - 57 PRE-FINISHED INTERIOR METAL PARTITION PANEL BY MTL. BLDG. MANUF.
 - 58 PRE-FINISHED METAL SOFFIT/CEILING PANEL BY MTL. BLDG. MANUF.
 - 59 CONVEYING SYSTEMS - NOT USED
 - 60 MECHANICAL
 - 61 PLUMBING FIXTURE, REFER PLUMBING
 - 62 ELECTRICAL
 - 63 LIGHT FIXTURE, REFER TO ELECTRICAL



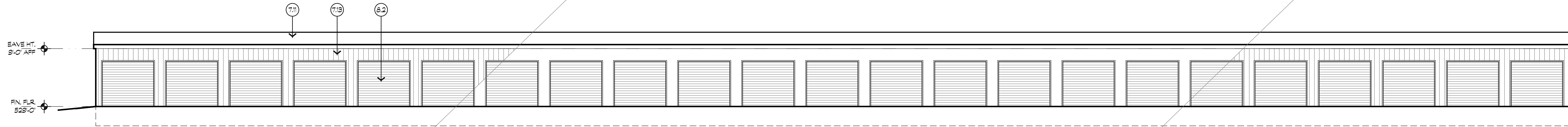


1 **Bldg. "F" North Elevation**
Scale: 1/8"=1'-0"

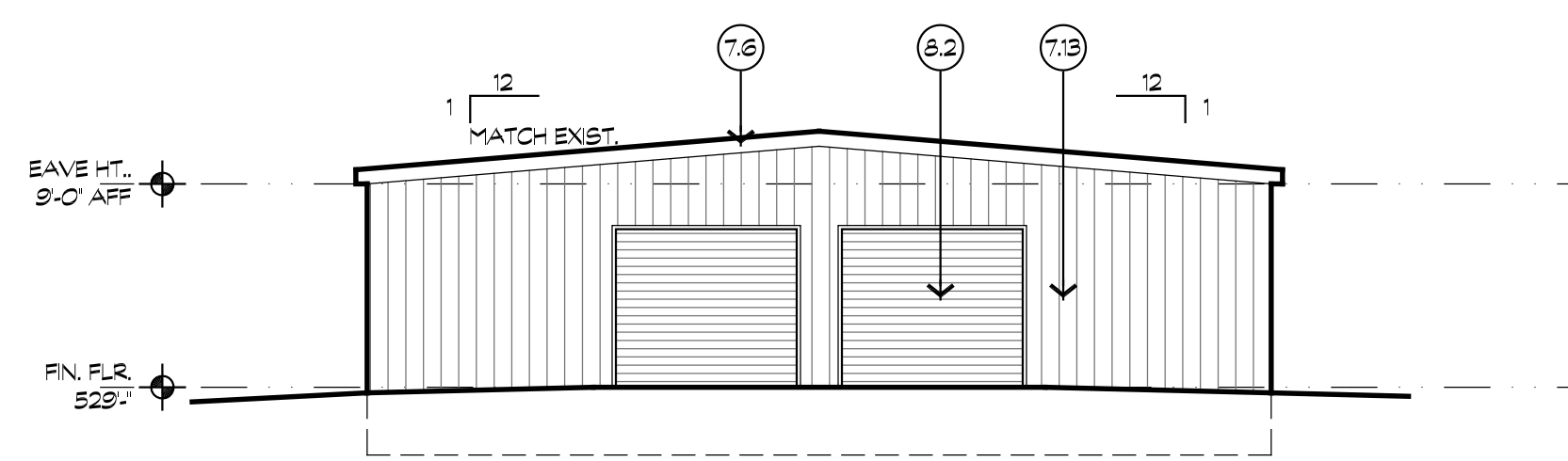
GENERAL NOTES:
1) REFER SHEET A2.01 FOR TYPICAL STEEL LINTEL SIZES AND HEAD FLASHING DETAIL.



2 **Bldg. "F" East Elevation**
Scale: 1/8"=1'-0"



3 **Bldg. "F" West Elevation**
Scale: 1/8"=1'-0"

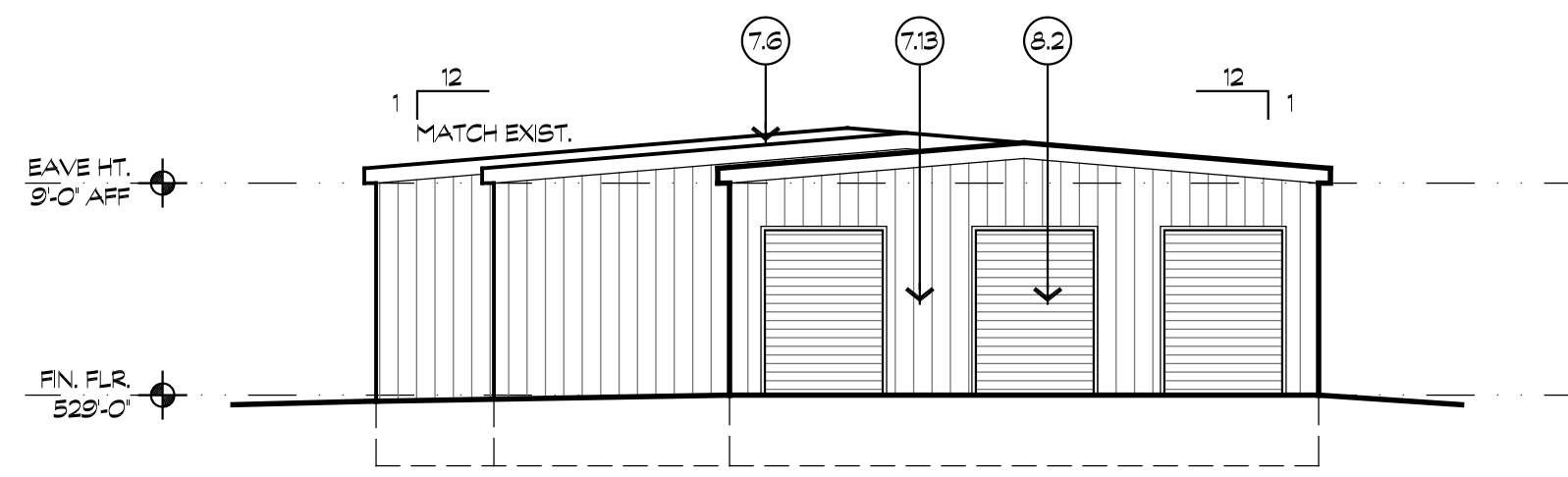


4 **Bldg. "F" South Elevation**
Scale: 1/8"=1'-0"

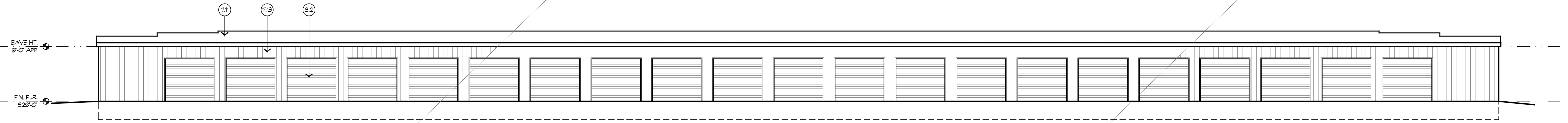
Key Notes

- *NOTE:**
REFER SHEET A0.00 FOR MATERIALS LEGEND
- | | | | | | | | | | | | | | | | |
|---------------------------------|--|---|--|--|---------------------|--|--|---|---------------------------|-----------------------------------|---------------------------|---|---------------------------------|---------------------------------------|---|
| 1 GENERAL REQUIREMENTS-NOT USED | 2 SITE WORK | 3 CONCRETE | 4 MASONRY | 5 METALS | 6 WOODS & PLASTICS | 7 THERMAL AND MOISTURE PROTECTION | 8 DOORS AND WINDOWS | 9 FINISHES | 10 SPECIALTIES - NOT USED | 11 EQUIPMENT | 12 FURNISHINGS - NOT USED | 13 SPECIAL CONSTRUCTION | 14 CONVEYING SYSTEMS - NOT USED | 15 MECHANICAL | 16 ELECTRICAL |
| | 2.1 4" THK. CONC. WALK | 3.1 CONCRETE FOUNDATION, REFER STRUCTURAL | 4.1 BRICK SHAPE TO MATCH EXST. PAINT TO MATCH | 5.1 MISC. METAL, SIZE AS INDICATED | 6.1 1" ROOF DECKING | 7.1 CONT. 26 GA. GALV. METAL FLASHING | 8.1 FRAME & DOOR, REFER DOOR TYPES | 9.1 PARTITION PANEL METAL STUD BY MTL. BLDG. MANUF. | | 11.1 FIRE DEPARTMENT KEY LOCK BOX | | 13.1 PRE-ENGINEERED METAL BUILDING FRAME BY MTL. BLDG. MANUF. | | 15.1 PLUMBING FIXTURE, REFER PLUMBING | 16.1 LIGHT FIXTURE, REFER TO ELECTRICAL |
| | 2.2 4' WIDE PAVEMENT MARKINGS | 3.2 PRE-FABRICATED CONCRETE SPLASH BLOCK | 4.2 ADJUSTABLE MASONRY TIES PER MASONRY ADVISORY COUNCIL RECOMMENDATIONS | 5.2 CONCRETE FILLED STEEL BOLLARD, REFER S/A2.01 | | 7.2 VINYL FACED THERMAL BATT INSULATION AS NOTED | 8.2 ROLL-UP OVER HEAD DOOR, REFER DOOR TYPES | 9.2 1/2" GYPSUM BOARD | | | | 13.2 PRE-FINISHED INTERIOR METAL WALL PANEL BY MTL. BLDG. MANUF. | | | |
| | 2.3 ADA COMPLIANT DETECTABLE WARNING RAMP, REFER 1/11.03 | | 4.3 MORTAR SCREEN | | | 7.3 AIR SPACE | | 9.3 FIBERGLASS REINFORCED PLASTIC | | | | 13.3 LIGHT GAGE SECONDARY FRAMING BY MTL. BLDG. MANUF. | | | |
| | 2.4 HANDICAP SIGN-REFER CIVIL | | 4.4 CAST STONE CAP | | | 7.4 CONT. 24 GA. GALV. FLASHING W/ WEEP HOLES @ 2'-0" O.C. | | | | | | 13.4 STANDING SEAM METAL ROOFING BY MTL. BLDG. MANUF. | | | |
| | 2.5 6" CONCRETE CURB, REFER CIVIL | | 4.5 MASONRY CONTROL JOINT: 15'-0" MAX SPACING | | | 7.5 SEALANT AND BACKER ROD | | | | | | 13.5 PRE-FINISHED METAL WALL PANEL BY MTL. BLDG. MANUF. | | | |
| | 2.6 LANDSCAPING REFER LANDSCAPE PLAN | | 4.6 8" CHU | | | 7.6 10 MIL VAPOR BARRIER | | | | | | 13.6 PRE-FINISHED METAL TRIM BY MTL. BLDG. MANUF. | | | |
| | 2.7 CITY OF ROCKWALL COMPLIANT FIRE LANE STRIPING | | 4.7 8" CHU | | | 7.7 PRE FINISHED 26 GA. RAIN GUTTER AND DOWNSPOUTS | | | | | | 13.7 PRE-FINISHED INTERIOR METAL PARTITION PANEL BY MTL. BLDG. MANUF. | | | |
| | 2.8 POWER OPERATED ROLLING ENTRY GATE W/ REMOTE KEYPAD | | 4.8 8" CHU | | | 7.8 EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.) | | | | | | 13.8 PRE-FINISHED METAL SOFFIT/CEILING PANEL BY MTL. BLDG. MANUF. | | | |
| | | | 4.9 8" CHU BOND BEAM | | | 7.9 #30 FELT | | | | | | | | | |
| | | | | | | 7.10 CLAY SPANISH TILE TO MATCH EXIST | | | | | | | | | |

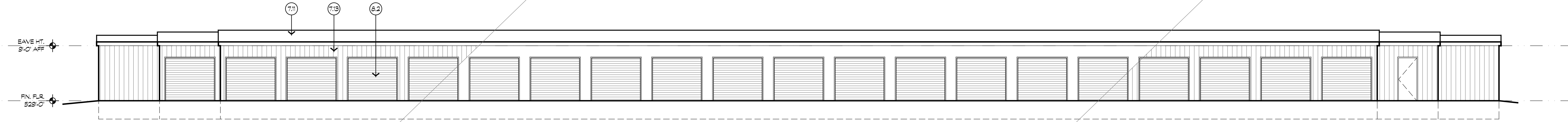




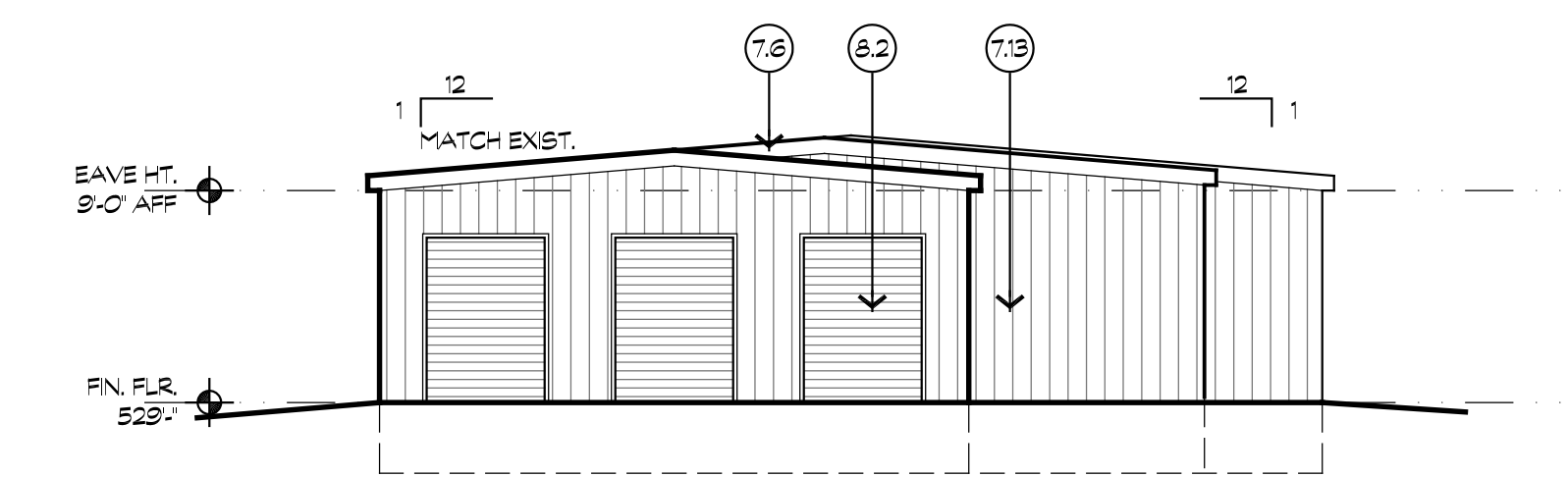
1 Bldg. "G" North Elevation
Scale: 1/8"=1'-0"



2 Bldg. "G" East Elevation
Scale: 1/8"=1'-0"



3 Bldg. "G" West Elevation
Scale: 1/8"=1'-0"



4 Bldg. "G" South Elevation
Scale: 1/8"=1'-0"

Key Notes

- *NOTE:**
REFER SHEET A0.00 FOR MATERIALS LEGEND
- 1 GENERAL REQUIREMENTS - NOT USED
 - 2 SITE WORK
 - 2.1 4" THK. CONC. WALK
 - 2.2 4" WIDE PAVEMENT MARKINGS
 - 2.3 ADA COMPLIANT DETECTABLE WARNING RAMP, REFER 1/A1.03
 - 2.4 HANDICAP SIGN, REFER CIVIL
 - 2.5 6" CONCRETE CURB, REFER CIVIL
 - 2.6 LANDSCAPING, REFER LANDSCAPE PLAN
 - 2.7 CITY OF ROCKWALL COMPLIANT FIRE LANE STRIPING
 - 2.8 POWER OPERATED ROLLING ENTRY GATE W/ REMOTE KEYPAD
 - 3 CONCRETE
 - 3.1 CONCRETE FOUNDATION, REFER STRUCTURAL
 - 3.2 PRE-FABRICATED CONCRETE SPLASH BLOCK
 - 4 MASONRY
 - 4.1 BRICK, SHAPE TO MATCH EXIST., PAINT TO MATCH
 - 4.2 ADJUSTABLE MASONRY TIES PER MASONRY ADVISORY COUNCIL RECOMMENDATIONS
 - 4.3 MORTAR SCREEN
 - 4.4 CAST STONE CAP
 - 4.5 MASONRY CONTROL JOINT: 15'-0" MAX SPACING
 - 4.6 8" CMU
 - 4.7 8" CMU BOND BEAM
 - 5 METALS
 - 5.1 NOT USED
 - 5.2 MISC. METAL, SIZE AS INDICATED
 - 5.3 CONCRETE FILLED STEEL BOLLARD, REFER 5/A2.01
 - 6 WOODS & PLASTICS
 - 6.1 ROOF DECKING
 - 7 THERMAL AND MOISTURE PROTECTION
 - 7.1 CONT. 26 GA. GALV. METAL FLASHING
 - 7.2 VINYL FACED THERMAL BATT INSULATION AS NOTED
 - 7.3 AIR SPACE
 - 7.4 CONT. 24 GA. GALV. FLASHING W/ WEEP HOLES @ 2'-0" O.C.
 - 7.5 SEALANT AND BACKER ROD
 - 7.6 10 MIL VAPOR BARRIER
 - 7.7 2'-0" O.C. DOWNSPOUTS
 - 7.8 EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.)
 - 7.9 H30 FELT
 - 7.10 CLAY SPANISH TILE TO MATCH EXIST
 - 8 DOORS AND WINDOWS
 - 8.1 FRAME & DOOR, REFER DOOR TYPES
 - 8.2 ROLL-UP OVER HEAD DOOR, REFER DOOR TYPES
 - 9 FINISHES
 - 9.1 PARTITION PANEL METAL STUD BY MTL. BLDG. MANUF.
 - 9.2 1/2 GYPSUM BOARD
 - 9.3 FIBERGLASS REINFORCED PLASTIC
 - 10 SPECIALTIES - NOT USED
 - 11 EQUIPMENT
 - 11.1 FIRE DEPARTMENT KEY LOCK BOX
 - 12 FURNISHINGS - NOT USED
 - 13 SPECIAL CONSTRUCTION
 - 13.1 PRE-ENGINEERED METAL BUILDING FRAME BY MTL. BLDG. MANUF.
 - 13.2 PRE-FINISHED INTERIOR METAL WALL PANEL BY MTL. BLDG. MANUF.
 - 13.3 LIGHT GAGE SECONDARY FRAMING BY MTL. BLDG. MANUF.
 - 13.4 STANDING SEAM METAL ROOFING BY MTL. BLD. MANUF.
 - 13.5 PRE-FINISHED METAL WALL PANEL BY MTL. BLD. MANUF.
 - 13.6 PRE-FINISHED METAL TRIM BY MTL. BLDG. MANUF.
 - 13.7 PRE-FINISHED INTERIOR METAL PARTITION PANEL BY MTL. BLDG. MANUF.
 - 13.8 PRE-FINISHED METAL SOFFIT/CEILING PANEL BY MTL. BLDG. MANUF.
 - 14 CONVEYING SYSTEMS - NOT USED
 - 15 MECHANICAL
 - 15.1 PLUMBING FIXTURE, REFER PLUMBING
 - 16 ELECTRICAL
 - 16.1 LIGHT FIXTURE, REFER TO ELECTRICAL



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW THE EXPANSION OF AN EXISTING MINI-WAREHOUSE FACILITY WITHIN A COMMERCIAL (C) DISTRICT AS SPECIFIED WITHIN ARTICLE 04, *PERMISSIBLE USES*, OF THE UNIFIED DEVELOPMENT CODE, FOR A 6.06-ACRE PARCEL OF LAND ZONED COMMERCIAL (C) DISTRICT, AND DESCRIBED AS LOT 1, BLOCK C OF THE ROCKWALL BUSINESS PARK EAST ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Stephen Seitz, on behalf of Jim Vaudagna, for the approval of a Specific Use Permit (SUP) to allow the expansion of an existing mini-warehouse facility within a Commercial (C) District for a 6.06-acre parcel of land identified as Lot 1, Block C of the Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, which is generally situated west of the intersection of SH-205 and Ralph Hall Parkway, and more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the expansion of a an existing mini-warehouse facility within a Commercial (C) District as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03 J, *Wholesale, Distribution and Storage Land Uses*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Mini-Warehouse Facility on the Subject Property, and conformance to these operational conditions are required for continued operations*:

- (1) All operations on this property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- (2) The building elevations submitted with the site plan shall generally adhere to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- (3) The minimum roof pitches for the proposed buildings shall be the same as the existing buildings or conform to the roof pitches called out on the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- (4) No outside storage of any kind shall be permitted on this site. This includes the outside storage of boats, recreational vehicles, and motor or self-propelled vehicles.
- (5) Businesses shall not be allowed to operate within individual storage units.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2TH DAY OF AUGUST, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 19, 2021

2nd Reading: August 2, 2021

Exhibit 'A'
Zoning Exhibit

Address: 1280 E. Ralph Hall Parkway

Legal Description: Lot 1, Block C, Rockwall Business Park East Addition

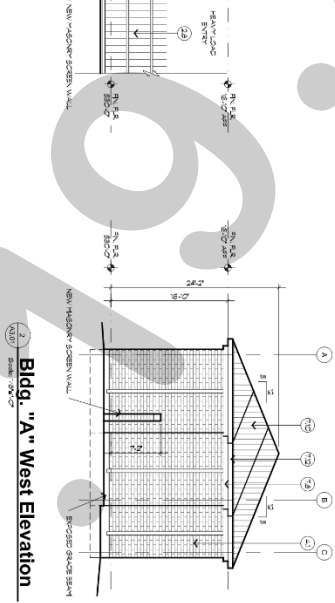
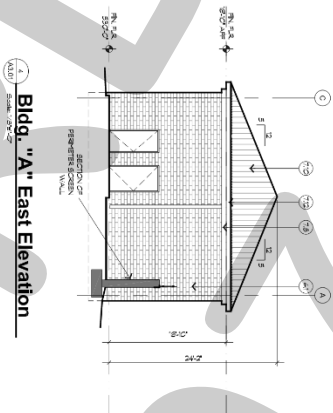
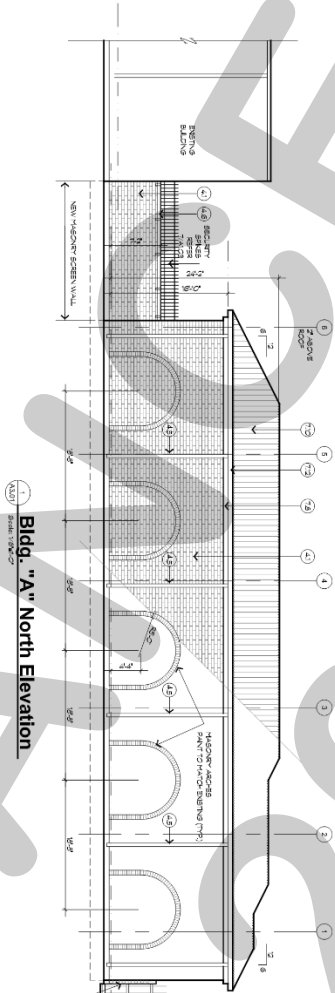
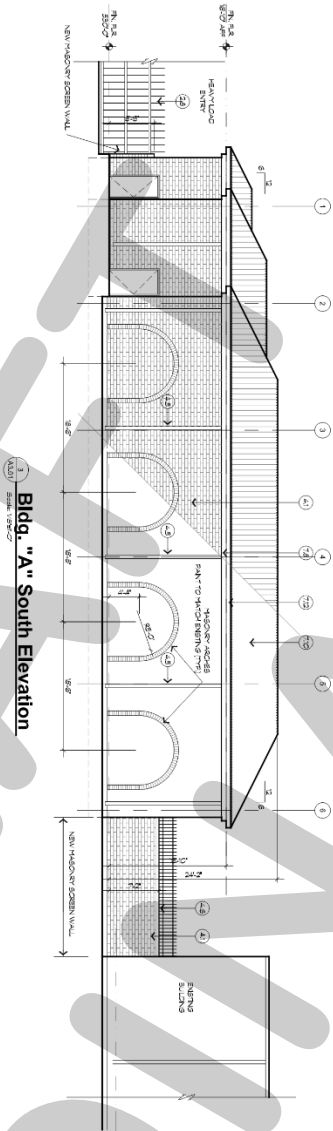


**Exhibit 'B':
Residential Plot Plan**

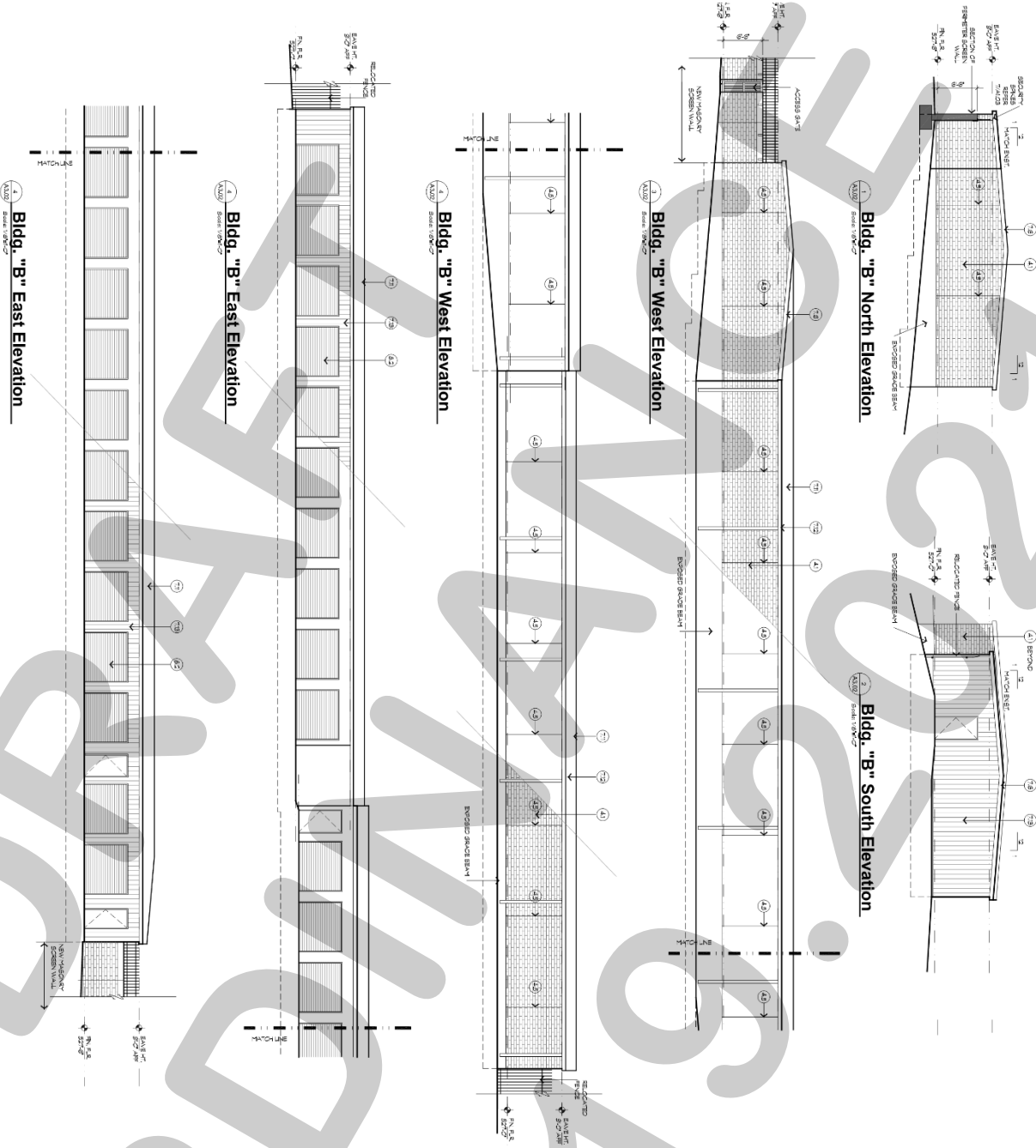


Architectural Site Plan

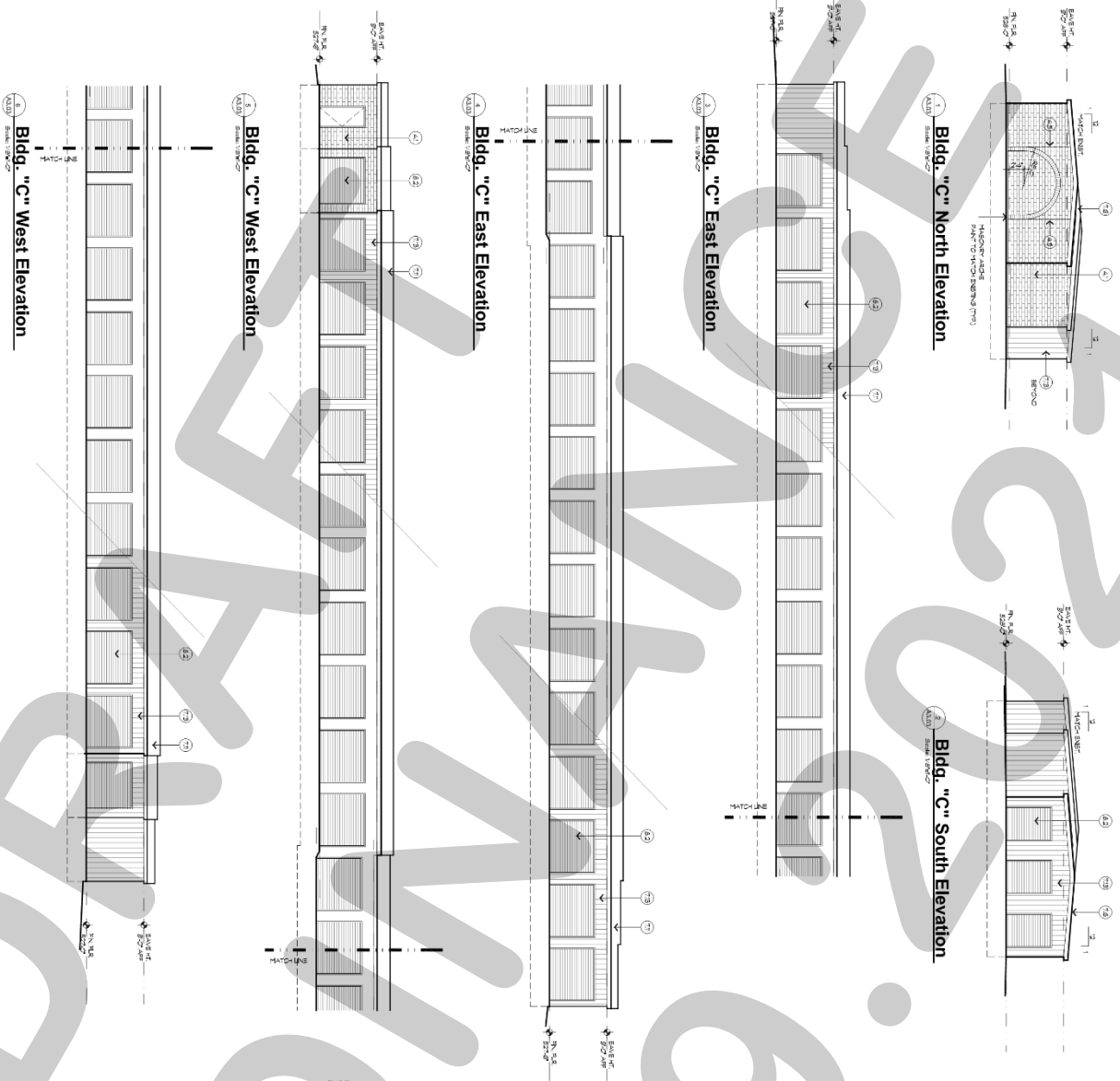
**Exhibit 'C':
Elevations**



**Exhibit 'C':
Elevations**



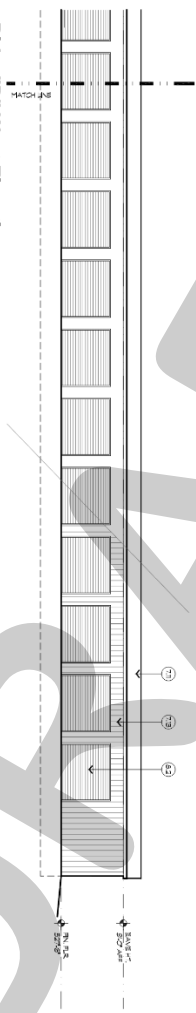
**Exhibit 'C':
Elevations**



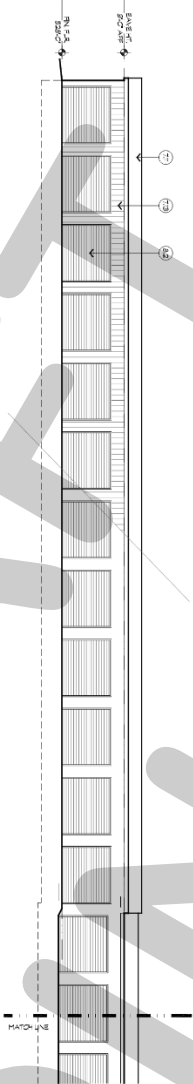
GENERAL NOTES:
1. REFER TO ARCHITECTURAL SPECIFICATIONS FOR MATERIALS AND FINISHES.
2. REFER TO STRUCTURAL DRAWINGS FOR DIMENSIONS AND CONDITIONS.

**Exhibit 'C':
Elevations**

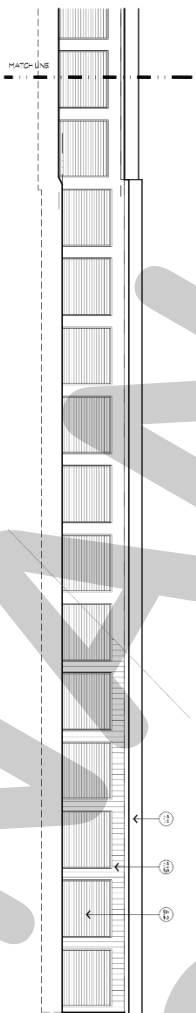
Bldg. "D" West Elevation



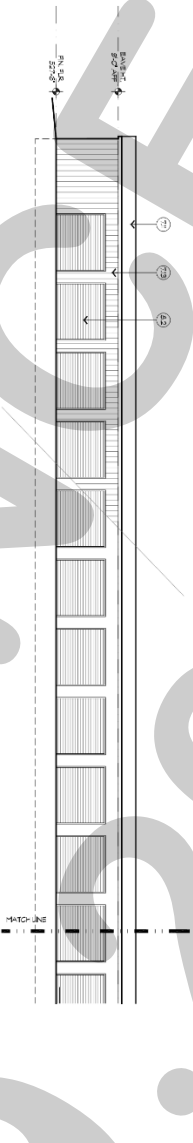
Bldg. "D" East Elevation



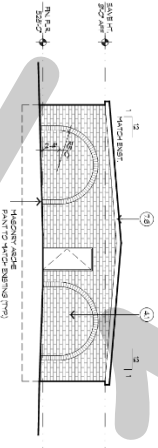
Bldg. "D" North Elevation



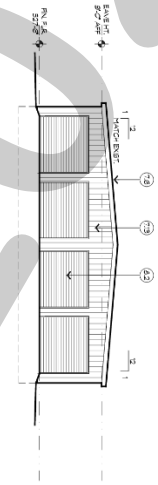
Bldg. "D" South Elevation



Bldg. "D" North Elevation

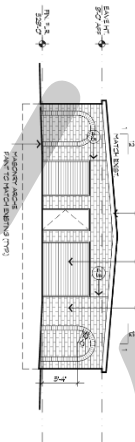


Bldg. "D" South Elevation

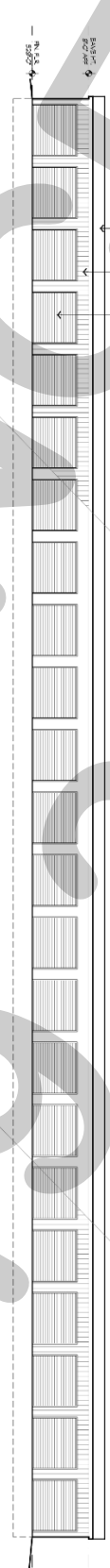


GENERAL NOTES:
1. REFER TO ARCHITECT'S GENERAL NOTES FOR ALL MATERIALS AND FINISHES.
2. REFER TO ARCHITECT'S GENERAL NOTES FOR ALL MATERIALS AND FINISHES.

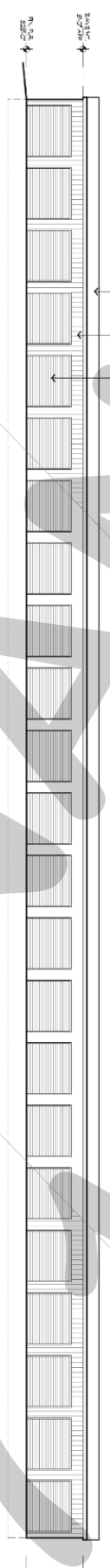
**Exhibit 'C':
Elevations**



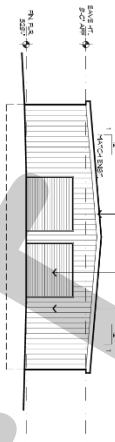
Bldg. "F" North Elevation



Bldg. "F" East Elevation



Bldg. "F" West Elevation



Bldg. "F" South Elevation

- Key Notes**
1. GENERAL REQUIREMENTS - "NOT USED"
 2. GENERAL NOTES - "NOT USED"
 3. FINISHES - "NOT USED"
 4. PAINTS - "NOT USED"
 5. SPECIALTIES - "NOT USED"
 6. GLAZING - "NOT USED"
 7. DOORS - "NOT USED"
 8. WINDOWS - "NOT USED"
 9. ROOFING - "NOT USED"
 10. EXTERIOR WALLS - "NOT USED"
 11. INTERIOR WALLS - "NOT USED"
 12. CEILING - "NOT USED"
 13. FLOORING - "NOT USED"
 14. MECHANICAL - "NOT USED"
 15. ELECTRICAL - "NOT USED"
 16. PLUMBING - "NOT USED"
 17. HVAC - "NOT USED"
 18. SANITARY - "NOT USED"
 19. STRUCTURAL - "NOT USED"
 20. CIVIL - "NOT USED"
 21. SITES - "NOT USED"
 22. CONSTRUCTION METHODS - "NOT USED"
 23. SPECIAL REQUIREMENTS - "NOT USED"
 24. NOTES AND COMMENTS - "NOT USED"
 25. REFERENCES AND CITATIONS - "NOT USED"
 26. ACRONYMS AND ABBREVIATIONS - "NOT USED"
 27. UNITS AND MEASUREMENTS - "NOT USED"
 28. SYMBOLS AND MARKINGS - "NOT USED"
 29. DIMENSIONS AND TOLERANCES - "NOT USED"
 30. QUALITY CONTROL AND INSPECTION REQUIREMENTS - "NOT USED"
 31. SCHEDULES AND SPECIFICATIONS - "NOT USED"
 32. NOTES AND COMMENTS - "NOT USED"
 33. REFERENCES AND CITATIONS - "NOT USED"
 34. ACRONYMS AND ABBREVIATIONS - "NOT USED"
 35. UNITS AND MEASUREMENTS - "NOT USED"
 36. SYMBOLS AND MARKINGS - "NOT USED"
 37. DIMENSIONS AND TOLERANCES - "NOT USED"
 38. QUALITY CONTROL AND INSPECTION REQUIREMENTS - "NOT USED"
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 40. NOTES AND COMMENTS - "NOT USED"
 41. REFERENCES AND CITATIONS - "NOT USED"
 42. ACRONYMS AND ABBREVIATIONS - "NOT USED"
 43. UNITS AND MEASUREMENTS - "NOT USED"
 44. SYMBOLS AND MARKINGS - "NOT USED"
 45. DIMENSIONS AND TOLERANCES - "NOT USED"
 46. QUALITY CONTROL AND INSPECTION REQUIREMENTS - "NOT USED"
 47. SCHEDULES AND SPECIFICATIONS - "NOT USED"
 48. NOTES AND COMMENTS - "NOT USED"
 49. REFERENCES AND CITATIONS - "NOT USED"
 50. ACRONYMS AND ABBREVIATIONS - "NOT USED"



MEMORANDUM

TO: Mary Smith, Interim City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: July 19, 2021

SUBJECT: Z2021-022; SPECIFIC USE PERMIT (SUP) FOR A RESIDENTIAL INFILL FOR 147 EVA PLACE

Attachments

Case Memo
Development Application
Location Map
HOA Notification Map
Property Owner Notification Map
Property Owner Notification List
Public Notice
Property Owner Notifications
Survey
Residential Plot Plan
Floor Plan
Building Elevations
Roof Plan
Housing Analysis
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by Ignacio Cardenas for the approval of an ordinance for a *Specific Use Permit (SUP)* allowing *Residential Infill in an Established Subdivision* on a 0.158-acre parcel of land identified as Lot 810-A0 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 147 Eva Place, and take any action necessary (1st Reading).

Action Needed

The City Council is being asked to approve, approve with condition, or deny the *Specific Use Permit*.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: July 19, 2021
APPLICANT: Ignacio Cardenas
CASE NUMBER: Z2021-022; *Specific Use Permit (SUP) for a Residential Infill for 147 Eva Place*

SUMMARY

Hold a public hearing to discuss and consider a request by Ignacio Cardenas for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.158-acre parcel of land identified as Lot 810-A0 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 147 Eva Place, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lot 810A of the Rockwall Lake Properties Development #2 Addition, which was filed with Rockwall County on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 147 Eva Place. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are six (6) parcels of land, three (3) vacant parcels (173, 197, & 209 Eva Place) and three (3) parcels with modular homes constructed on them (159 & 187 Eva Place and 109 Diana Drive). Beyond this is Diana Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this are several parcels of land with single-family and modular homes situated on them. All of these properties are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses.

South: Directly south of the subject property are three (3) parcels of land (135 Eva Place and 115 & 384 County Line Road) developed with two (2) single-family homes and one (1) duplex. Beyond this is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several parcels of land zoned Commercial (C) District and that have various commercial land uses.

East: Directly east of the subject property is a row of single-family and modular homes zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) land uses. Beyond this is Valerie Place, which is identified as a

R2 (i.e. residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this are two (2) rows of single-family and modular homes zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) land uses.

West: Directly west of the subject property is Eva Place, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a row of single-family and modular homes zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) land uses. Beyond this is a vacant 14.374-acre tract of land (Tract 2-1, G. Wells Survey) also zoned Planned Development District 75 (PD-75).

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is located within the Lake Rockwall Estates East Subdivision. This subdivision has been in existence for more than ten (10) years, consists of more than five (5) lots, and is more than 90% of the developable lots are developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Eva Place and Diana Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Eva Place, Diana Drive, and the Subject Property	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face west towards Eva Place.
Year Built	1973-2008	N/A
Building SF on Property	600 SF – 1,729 SF	2,410 SF
Building Architecture	Single-Family and Modular Homes	Comparable Architecture to the Surrounding Newer Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks are 18-45-Feet	X > 20-Feet
Side	The side yard setbacks are 0-28-Feet	6-Feet & 4.3-Feet
Rear	The rear yard setbacks are 8-45-Feet	X > 10-Feet
Building Materials	Brick, Wood Siding, & Vinyl and Metal Siding	Brick & Composite Siding
Paint and Color	Brown, Tan, Blue, White, & Yellow	N/A
Roofs	Composite Shingles & Metal	Composite Shingle
Driveways/Garages	Flat-Front Entry, Carports, and Homes with No Garages	The garage will be a flat-front entry.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is proposing to put the garage 5-feet, 7-inches in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Lake Rockwall Estates Subdivision in the past.

With the exception of the garage setback requirement, the proposed single-family home meets all of the density and dimensional requirements for the Single-Family 7 (SF-7) District as stipulated by Planned Development District 75 (PD-75) and the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Eva Place and Diana Drive. The proposed building elevations have also been provided in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On June 29, 2021, staff mailed 107 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On July 13, 2021, the Planning and Zoning Commission approved a motion to approve the Specific Use Permit (SUP) with the conditions of approval by a vote of 6-0, with Commissioner Deckard absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-022

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 147 Eva Place

SUBDIVISION _____

LOT 810-A

BLOCK _____

GENERAL LOCATION Rockwall

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-75

CURRENT USE Land

PROPOSED ZONING PD-75

PROPOSED USE single family home

ACREAGE .79

LOTS [CURRENT] _____

LOTS [PROPOSED] 4 (non-suit)

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Ignacio Cardenas

APPLICANT _____

CONTACT PERSON Ignacio Cardenas

CONTACT PERSON _____

ADDRESS Po Box 788

ADDRESS _____

CITY, STATE & ZIP Rockwall TX 75087

CITY, STATE & ZIP _____

PHONE 214-664-5289

PHONE _____

E-MAIL ictconstruction1@gmail.com

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

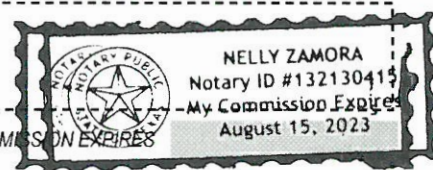
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ignacio Cardenas Issac [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

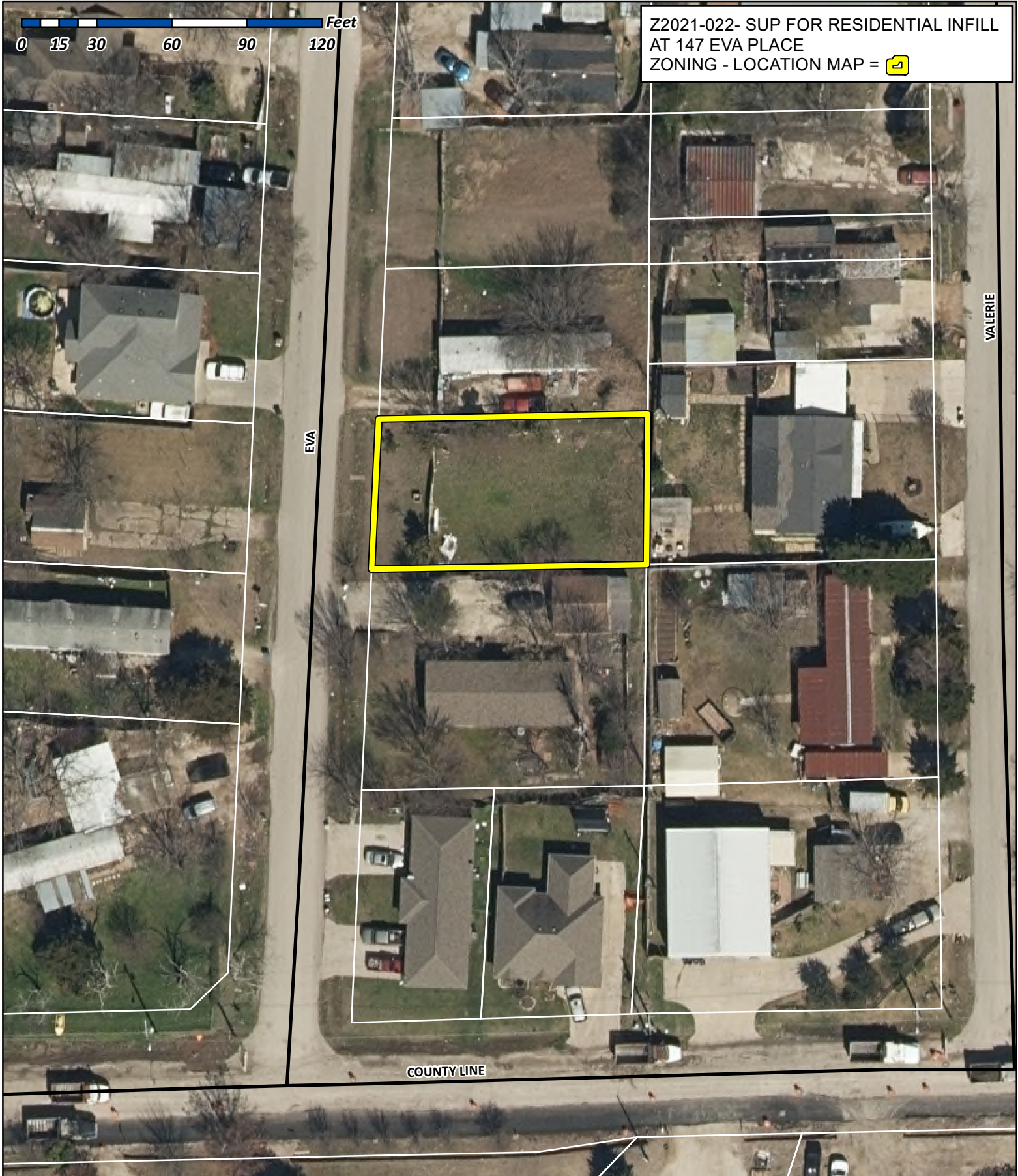
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ May TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF May, 20 21. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF May, 20 21.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

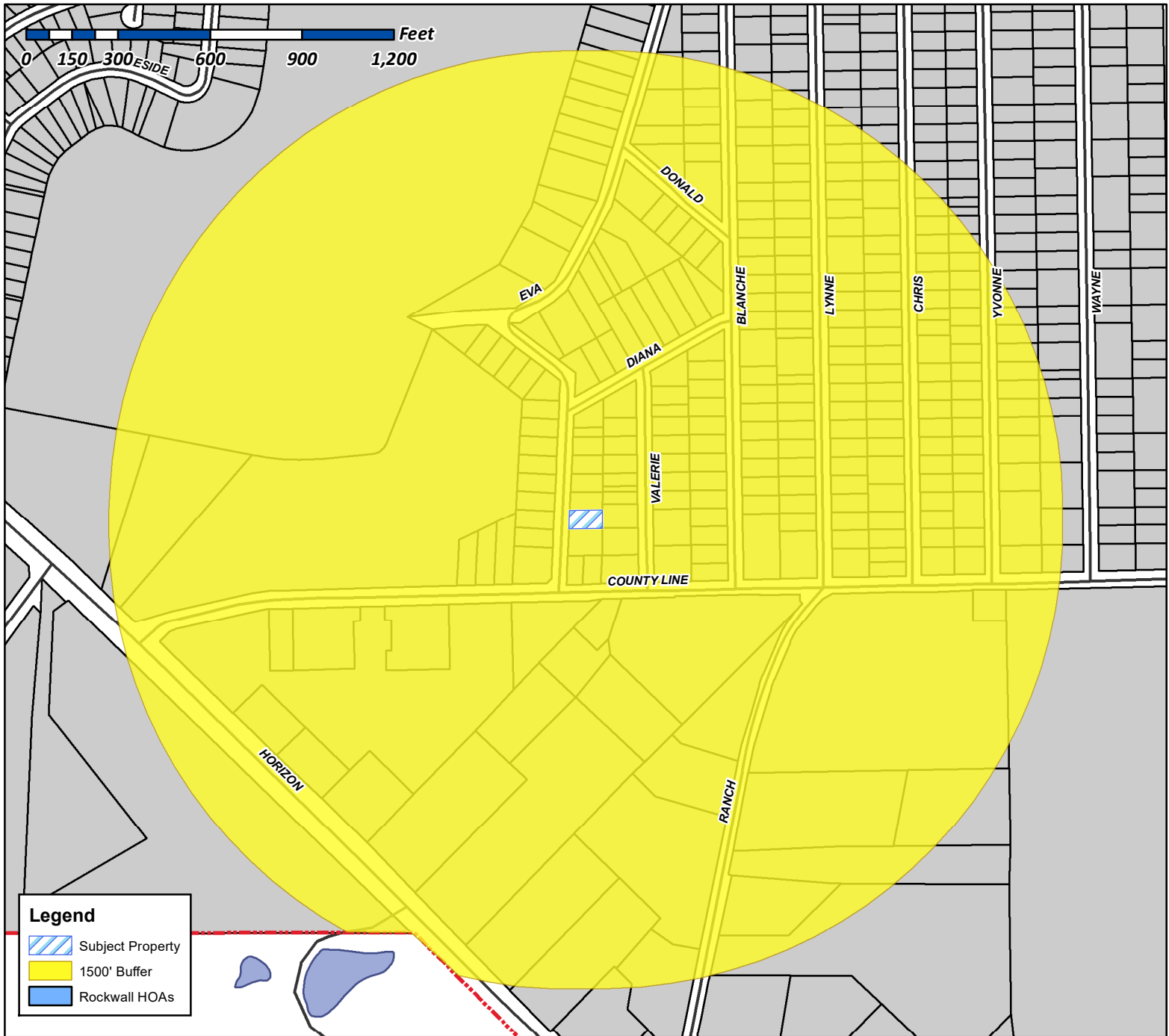




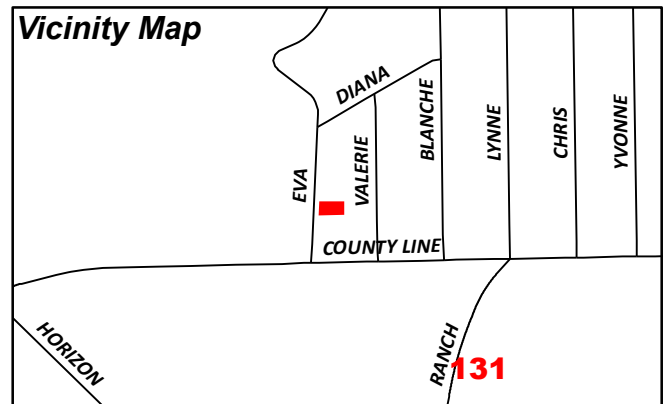
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2021-022
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 147 Eva Place



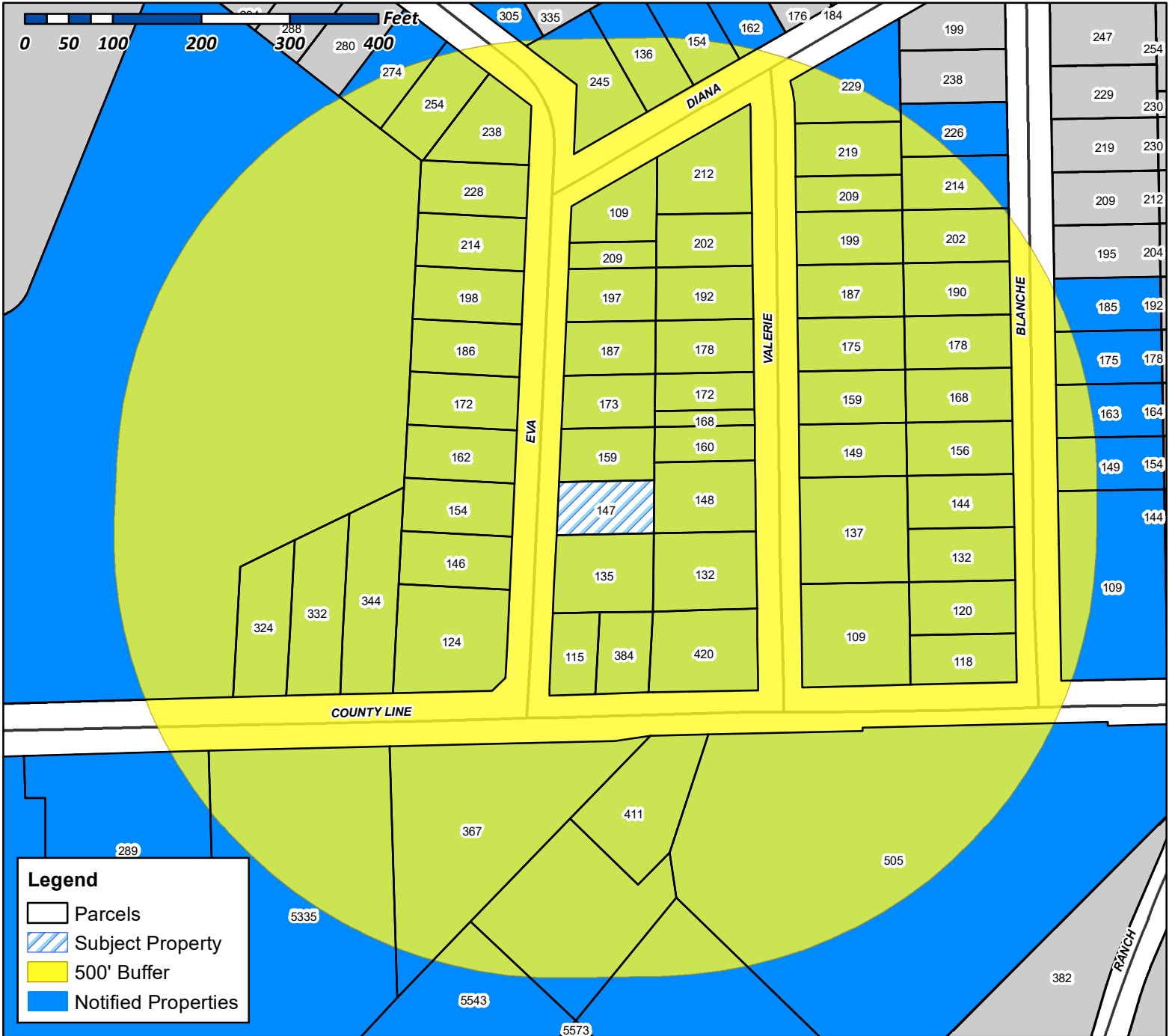
Date Created: 6/14/2021
 For Questions on this Case Call (972) 771-7745



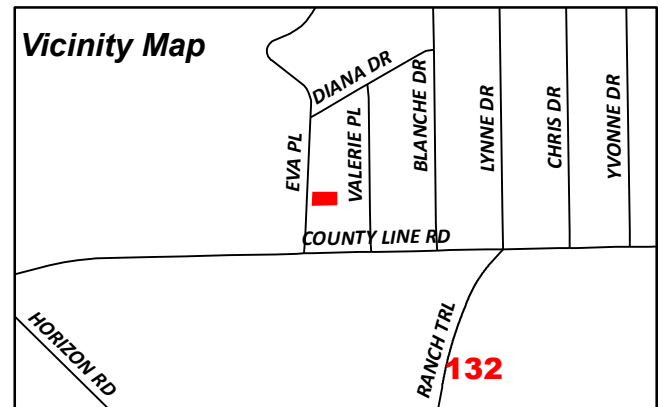
City of Rockwall

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Date Created: 6/14/2021
For Questions on this Case Call (972) 771-7745

SALAS HECTOR JABIER & CAROLINA ORTIZ
1000 W YELLOWJACKET LANE APT 2507
ROCKWALL, TX 75087

SILVA BERTHA
1041 E FM 552
ROCKWALL, TX 75087

VARGAS RICARDO
109 BLANCHE DR
ROCKWALL, TX 75032

HERREROS ANTELMO &
SONIA T SERNA
109 DIANA DR
ROCKWALL, TX 75032

SALAS ALBERTO R & ADELA A
109 VALERIE PL
ROCKWALL, TX 75032

SILVA JUAN C
115 EVA PL
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE
118 BLANCHE DR
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
120 BLANCHE DR
ROCKWALL, TX 75032

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

MIRELES RAYMUNDO
124 EVA PLACE
ROCKWALL, TX 75032

FLORES DAYANARA &
JAMES GLEASON
132 BLANCHE DR
ROCKWALL, TX 75032

PAVON MARISOL
132 VALERIE PL
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT
134 YVONNE DR
ROCKWALL, TX 75032

MONTELONGO MOISES
135 EVA PLACE
ROCKWALL, TX 75032

LA REN CORPORATION
C/O DON/AUDREY BLANKENSHIP
136 DIANA
ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR
137 VALERIE PL
ROCKWALL, TX 75032

LOC PHU AND VINCENT TONG
1414 BUFFALO WOODS CT
KATY, TX 77494

HERNANDEZ NESTOR AND
GILBERTA NAVERRETE
1420 W COLLEGE ST LOT 1
MURFREESBORO, TN 37129

GARCIA MARTIN
144 BLANCHE DR
ROCKWALL, TX 75032

SILVA BERTHA
146 EVA
ROCKWALL, TX 75032

CARDENAS IGNACIO
147 EVA PL
ROCKWALL, TX 75032

VALDEZ MARY ESTHER
148 VALERIE PL
ROCKWALL, TX 75032

VARGAS RICARDO
149 BLANCHE DR
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT
149 VALERIE PL
ROCKWALL, TX 75032

ROMAN JAIME A & MA GUADALUPE SANDOVAL
154 DIANA DR
ROCKWALL, TX 75032

CASTANEDA AARON JAIME CHAPELA
154 EVA PLACE
ROCKWALL, TX 75032

VAZQUEZ RAMON LOPEZ
156 BLANCHE DR
ROCKWALL, TX 75032

KUO DANIEL
1580 COASTAL DRIVE
ROCKWALL, TX 75087

MORALES RAMIRO JR
159 EVA PLACE
ROCKWALL, TX 75032

TEPOX FABIOLA DOMINGUEZ
159 VALERIE PL
ROCKWALL, TX 75032

DURAN ROCIO
160 VALERIE PL
ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL
162 DIANA
ROCKWALL, TX 75032

DEL RIO ALBERTO & MONICA
162 EVA PL
ROCKWALL, TX 75032

VARGAS RICARDO
163 BLANCHE DR
ROCKWALL, TX 75032

PALICIOS MARIA
168 BLANCHE DR
ROCKWALL, TX 75032

CITY OF ROCKWALL
168 VALERIEPL
ROCKWALL, TX 75032

LOZANO ISIDRO
1705 HIGH MEADOW DR
GARLAND, TX 75040

WOLFORD STEPHANIE D
172 EVA PLACE
ROCKWALL, TX 75032

HERNANDEZ BENJAMIN AND
MARIANA SIFUENTES
172 VALERIE PL
ROCKWALL, TX 75032

MORALES RAMIRO JR
173 EVA PL
ROCKWALL, TX 75032

GOMEZ ALEJANDRO
175 BLANCHE DR
ROCKWALL, TX 75032

LOC PHU AND VINCENT TONG
175 VALERIE PL
ROCKWALL, TX 75032

MEJIA JULIO & MARIA
176 RENEE DR
ROCKWALL, TX 75032

OLIVARES JAIME
178 BLANCHE DR
ROCKWALL, TX 75032

MAZARIEGOS EDGAR & SONIA I
178 VALERIE PL
ROCKWALL, TX 75032

5543 FM3097 LLC
1809 BRISTOL LANE
ROCKWALL, TX 75032

GUTIERREZ DONATILO & BLANCA
185 BLANCHE DR
ROCKWALL, TX 75032

SILVA MARIA
186 EVA PL
ROCKWALL, TX 75032

ORTEGA RUBEN
187 EVA PL
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO &
MARIA BLANCA RESENDIZ
187 VALERIE PL
ROCKWALL, TX 75032

ALVAREZ FRANCISCO J
190 BLANCHE DR
ROCKWALL, TX 75032

LOZANO ISIDRO
192 VALERIEPL
ROCKWALL, TX 75032

BARRON BENICIO
195 ROSEMARIE DR
LEBANON, OH 45036

MEJIA JULIO & MARIA
197 EVAPL
ROCKWALL, TX 75032

CONTRERAS MANUEL AND MARIA G
198 EVA PL
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PL
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PLACE
ROCKWALL, TX 75032

ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX 75032

TOVAR JUAN &
NORA OREGA
202 VALERIE PL
ROCKWALL, TX 75032

KENT RONALD & BRENDA
209 EVAPL
ROCKWALL, TX 75032

CANADY JERRY ANN
209 VALERIE PL
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE
212 LYNNE DR
ROCKWALL, TX 75032

RICO RUIZ CARLOS AND MARIA
212 VALERIE PL
ROCKWALL, TX 75032

RICO CARLOS
212 VALERIE PL
ROCKWALL, TX 75032

SALAS HECTOR JABIER & CAROLINA ORTIZ
214 BLANCHE DR
ROCKWALL, TX 75032

RICO CARLOS
214 EVA PL
ROCKWALL, TX 75032

RUIZ JOSE C
219 VALERIE PL
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ
226 BLANCHE DRIVE
ROCKWALL, TX 75032

MOSELEY CYNTHIA SUE
228 EVAPL
ROCKWALL, TX 75032

KUO DANIEL
229 VALERIE PL
ROCKWALL, TX 75032

BUFFALO CREEK BUSINESS PARK LTD
2324 EAST I 30
ROYSE CITY, TX 75189

LA REN CORPORATION
C/O DON/AUDREY BLANKENSHIP
238 EVA PL
ROCKWALL, TX 75032

HERNANDEZ NESTOR AND
GILBERTA NAVERRETE
245 EVA
ROCKWALL, TX 75032

LA REN CORPORATION
C/O DON/AUDREY BLAKENSHIP
254 EVA PL
ROCKWALL, TX 75032

ESCOBAR AURELIO
274 EVA PL
ROCKWALL, TX 75032

KELLY EDDY D & SHARON RENEE REV LIV TR
289 COUNTY LINE RD
ROCKWALL, TX 75032

HILGENFELD DONNA & ROSS
305 EVAPL
ROCKWALL, TX 75032

JIMENEZ TERESA HERNANDEZ &
LUIS TORRES GALINA
321 PANOLA CT
ROYSE CITY, TX 75189

RANGELL JUAN JOSE
324 COUNTY LINE RD
ROCKWALL, TX 75032

MAZARIEGOS EDGAR & SONIA I
3248 BLACKLAND RD
ROYSE CITY, TX 75189

BARRON BENICIO
332 COUNTY LINE RD
ROCKWALL, TX 75032

SILVA JUAN C
332 E LINDA LN
ROYSE CITY, TX 75189

JIMENEZ TERESA HERNANDEZ &
LUIS TORRES GALINA
344 COUNTY LINE RD
ROCKWALL, TX 75032

RAMIREZ RAUL & TERESA
358 TROUT ST
ROCKWALL, TX 75032

PALICIOS MARIA
365 LYNNE DR
ROCKWALL, TX 75032

MARKSQUARED INVESTMENTS LLC
367 COUNTY LINE RD
ROCKWALL, TX 75032

RAMIREZ PETRA & JOSE ARTURO
384 COUNTY LINE RD
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO &
MARIA BLANCA RESENDIZ
397 CHRIS DR
ROCKWALL, TX 75032

RAMIREZ RAUL & TERESA
411 COUNTY LINE RD
ROCKWALL, TX 75032

LOZANO ISIDRO
420 COUNTY LINE RD
ROCKWALL, TX 75032

RANGELL JUAN JOSE
4427 FM 550
ROYSE CITY, TX 75189

BIG LEAGUE SPORTS ACADEMY INC
505 COUNTY LINE RD
ROCKWALL, TX 75032

LEJ PARTNERS LTD
5100 ELDORADO PKWY STE 102 # 373
MCKINNEY, TX 75070

MOSELEY CYNTHIA SUE
5100 HORIZON RD
ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL
513 BASS RD
ROCKWALL, TX 75032

MARKSQUARED INVESTMENTS LLC
517 COYOTE RD
SOUTHLAKE, TX 76092

BUFFALO CREEK BUSINESS PARK LTD
5335 FM 3097
ROCKWALL, TX 75032

BIG LEAGUE SPORTS ACADEMY INC
5508 FOREST LANE
DALLAS, TX 75230

5543 FM3097 LLC
5543 FM3097
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
5713 SECREST CT
GOLDEN, CO 80403

FLORES DAYANARA &
JAMES GLEASON
611 MEADOW DR
ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR
6379 KLONDIKE RD
RIPLEY, NY 14775

HILGENFELD DONNA & ROSS
6409 ALTA OAKS DR
GARLAND, TX 75043

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

PAVON MARISOL
810 E. DOUGHERTY DR
GARLAND, TX 75041

GARCIA MARTIN
852 ROSE LANE
ROCKWALL, TX 75087

LA REN CORPORATION
C/O DON/AUDREY BLANKENSHIP
PO BOX 2155
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-022: Specific Use Permit for Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Ignacio Cardenas for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.158-acre parcel of land identified as Lot 810-A0 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 147 Eva Place, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 13, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 19, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 19, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-022: Specific Use Permit for Residential Infill in an Established Subdivision

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

Case No. Z2021-022: Specific Use Permit for Residential Infill in an Established Subdivision

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Because there is already enough housing for people to live here and I enjoy the peacefulness of not having to deal with loud neighbors.

Name:

Patty Ramirez

Address:

384 County Line Rd

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Know what's below.
Call before you dig.

PLOT PLAN



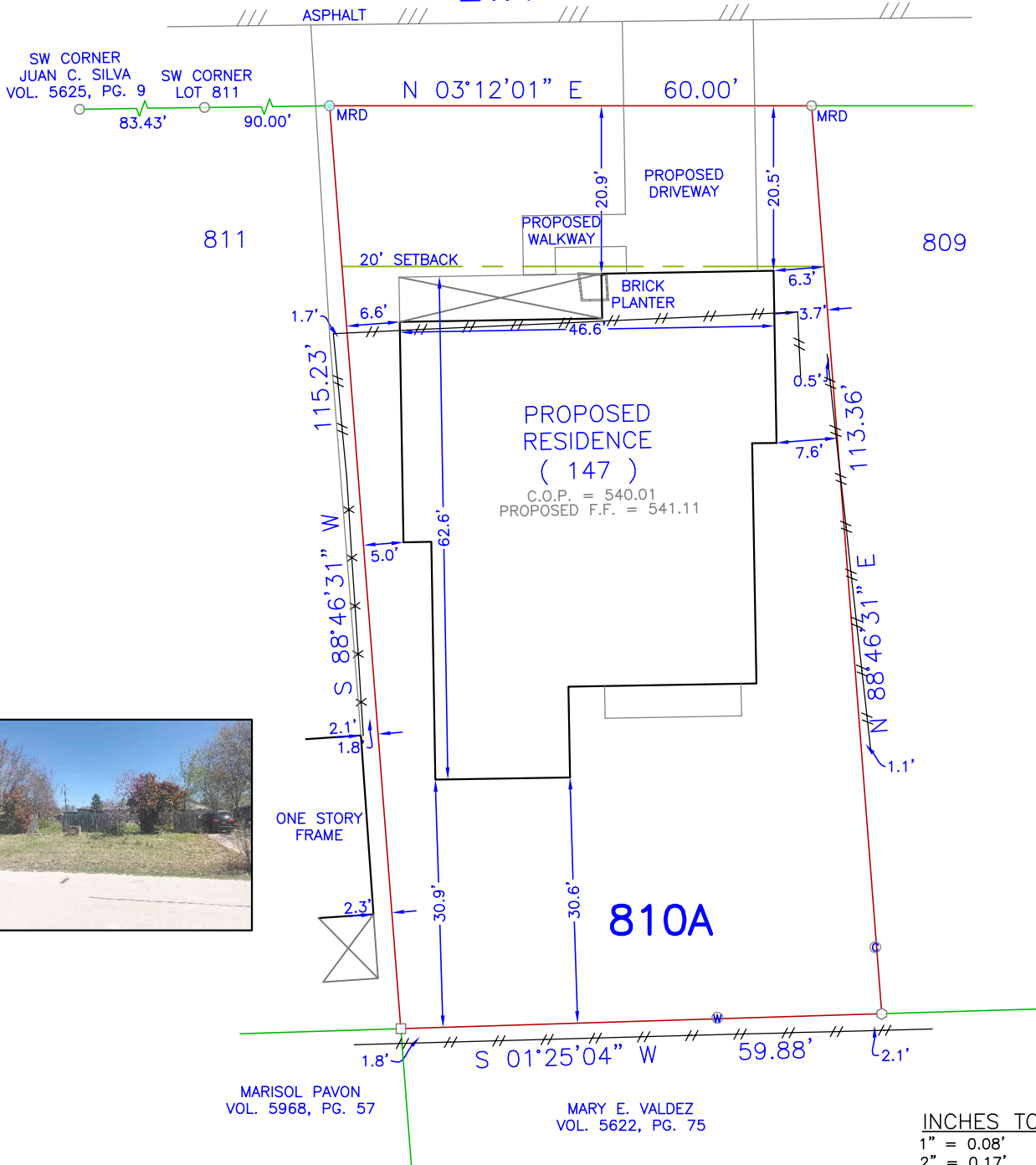
WWW.RHODESSURVEYING.COM

BRIAN S. RHODES Registered Professional Land Surveyor (972) 475-8940

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 147 EVA PLACE, in the city of ROCKWALL Texas. Lot No. 810, Block No. - of ROCKWALL EST. #2, an addition in the city of ROCKWALL, ROCKWALL COUNTY Texas according to the PLAT THEREOF RECORDED in CABINET A at SLIDE 79 of the MAP records of ROCKWALL COUNTY, TEXAS.



EVA PLACE



MARISOL PAVON
VOL. 5968, PG. 57

MARY E. VALDEZ
VOL. 5622, PG. 75

INCHES TO TENTHS

1" = 0.08'	7" = 0.58'
2" = 0.17'	8" = 0.67'
3" = 0.25'	9" = 0.75'
4" = 0.33'	10" = 0.83'
5" = 0.42'	11" = 0.92'
6" = 0.50'	12" = 1.00'

THIS CERTIFICATION DOES NOT TAKE INTO CONSIDERATION ADDITIONAL FACTS THAT AN ACCURATE TITLE SEARCH AND OR EXAMINATION MIGHT DISCLOSE.

BEARINGS ARE BASED ON RTK READINGS OF TEXAS COORDINATE SYSTEM OF 1983 (NAD83), NORTH CENTRAL ZONE (4202)

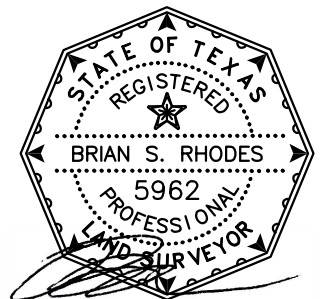
1529 E. I-30, STE. 106 - GARLAND, TX 75043 - FIRM REGISTRATION NO. 10194052
The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements.

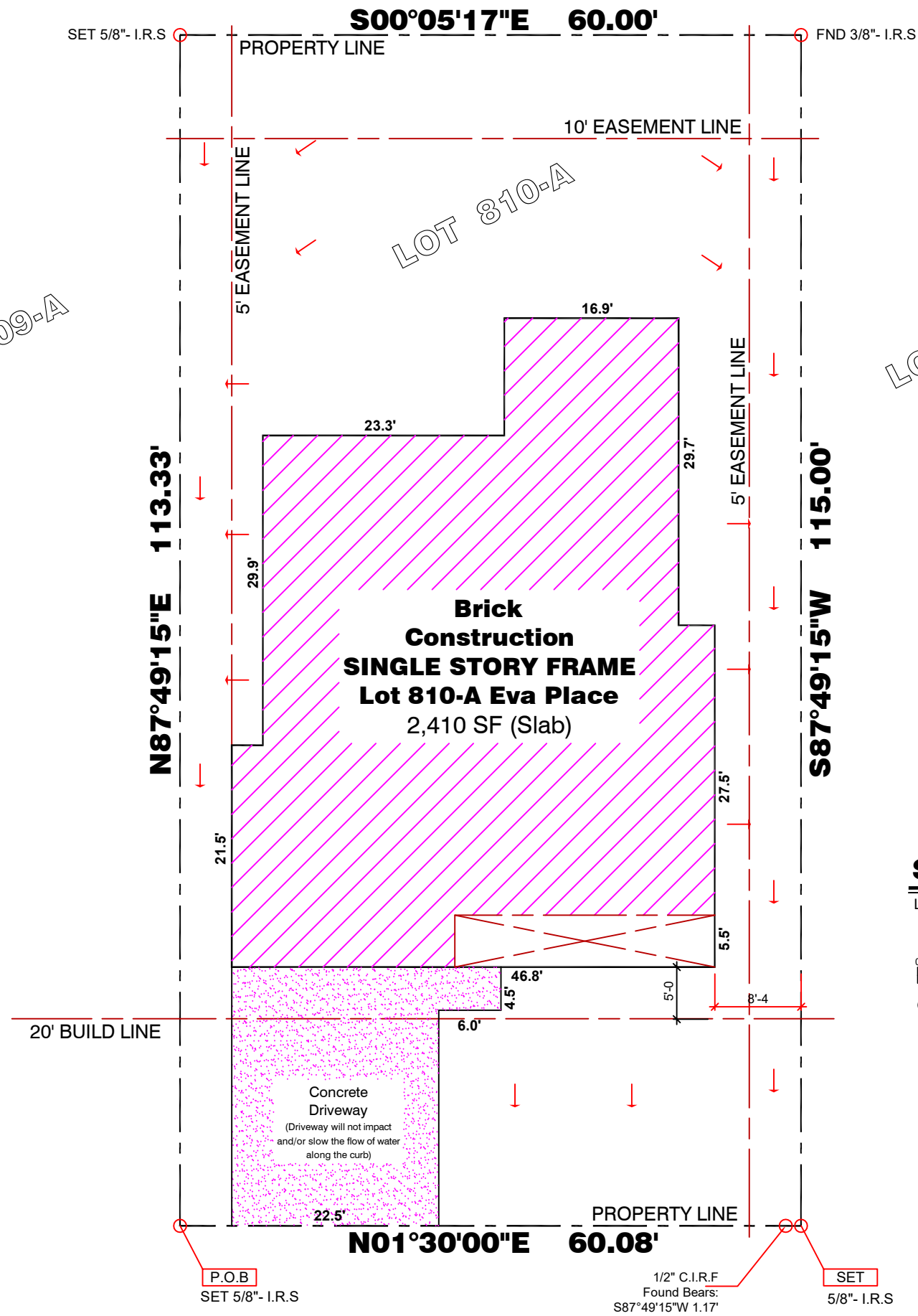
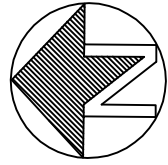
TITLE AND ABSTRACTING WORK FURNISHED BY ICJ CONSTRUCTION
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 20'
Date: 03/29/2021
G. F. No.: -
Job no.: 108890
Drawn by: CR

USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.
THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR ICJ CONSTRUCTION

LEGEND	
WOOD FENCE	TEXT
CHAIN LINK	IMPROVEMENTS
IRON FENCE	BOUNDARY LINE
WIRE FENCE	EASEMENT SETBACK
	RESIDENCE/BUILDING
MRD	MONUMENTS OF RECORD DIGNITY
1/2" IRON ROD FOUND	
60D NAIL FOUND	
SET 'x'	
PK NAIL FOUND	
1/2" RED-CAPPED IRON ROD FOUND	
5/8" YELLOW-CAPPED IRON ROD FOUND	
CABLE	GUY-WIRE
CLEAN OUT	ELECTRIC
GAS METER	POWER POLE
FIRE HYDRANT	TELEPHONE
LIGHT POLE	WATER METER
MANHOLE	WATER VALVE
(UNLESS OTHERWISE NOTED)	





EVA PLACE
(50' R.O.W.)

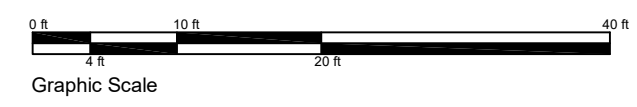
**Site Plan shown with
Proposed Drainage**

SURVEY PLAT DESCRIPTION:

Property located at No. LOT 810-A , of ROCKWALL LAKE PROPERTIES Development No 2, an Addition to ROCWALL COUNTY, Texas, according to the plat thereof recorded in CABINET A, SLIDE 79 , of the PLATS Records of Rocwall County, Texas.

SITE PLAN

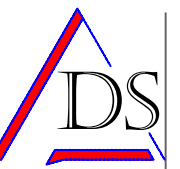
LOT 810-A EVA PLACE, ROCWALL TX



- NOTES:
1. Grading and Drainage shall not negatively impact surrounding properties. Current drainage flows to EVA PLACE street.
 2. Proposed drainage continue to flow to street, however, elevation needs to be raised.
 3. A minimum slope of 5% is required (10% is preferred) for at least the first 3ft away from the structure on all sides.
 4. As required for this property, a swale of 1% slope (Minimum) will be constructed to convey all runoff to EVA PLACE street.
 5. If AC unit is located on the direction of the swale (North or South), the AC unit shall not block the water flow on the swale direction.
 6. The construction of the Driveway shall not impact or slow down the flow of water along the concrete curb.

Drafting Solutions - Allen, TX (972) 697-6258

DISCLAIMER: These plans are intended to provide basic construction information in site work, concrete, framing, electrical or mechanical trades necessary to complete the structure. These plans must be verified by the builder or the person in authority for the job. Any discrepancy, error or omission, if found, is to be brought to the attention of the drafter before any construction, work or purchase is made. All structural elements, such as piers and footings, retaining and shear walls, floor and roof beams, trusses, rafters, floor and ceiling joists, columns, footings and concrete floors must be sized and designed by a registered engineer. Drafting Solutions will not be responsible for these designs and/or approvals. The limit for drafter's liability will not exceed the fee paid for plans.

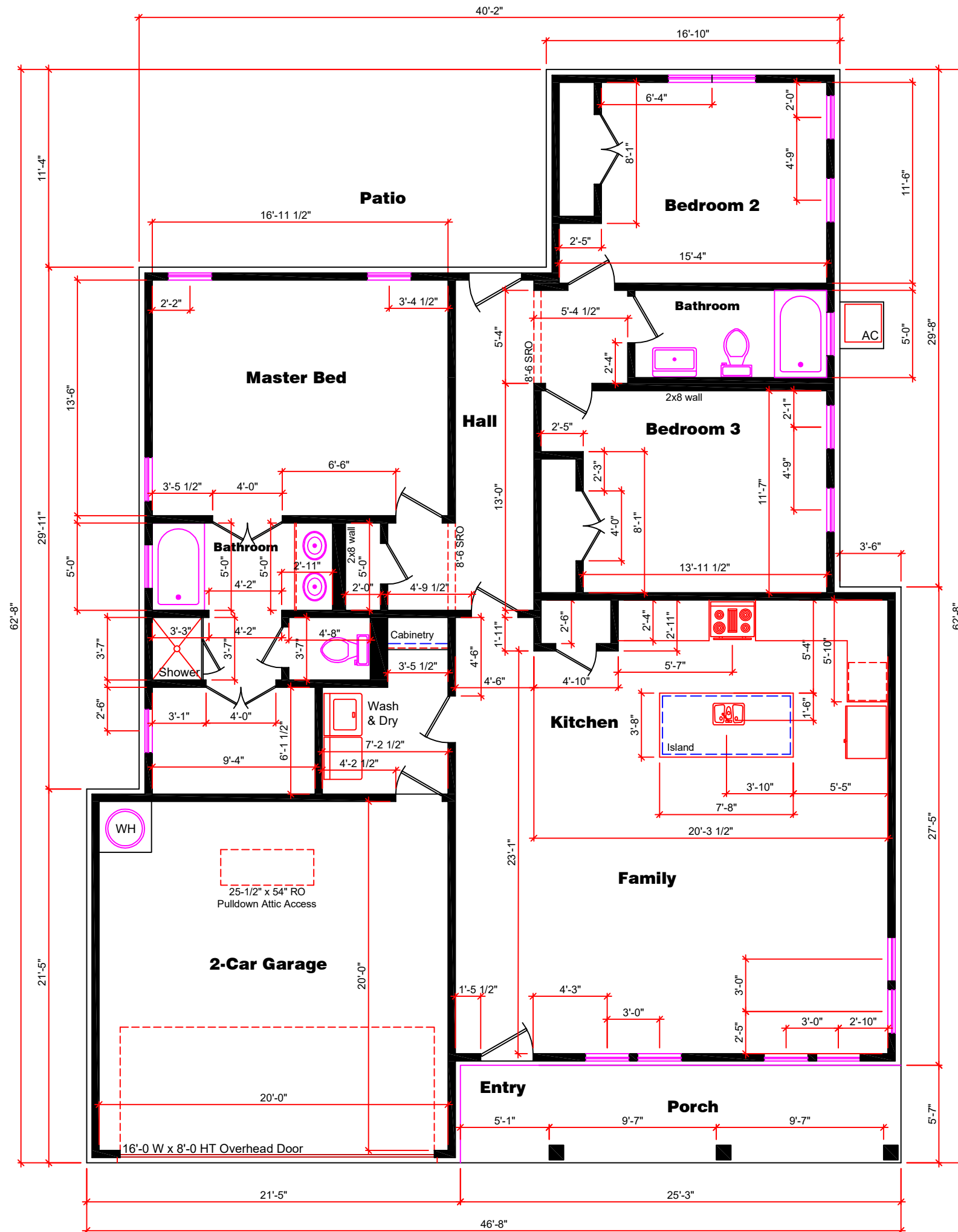
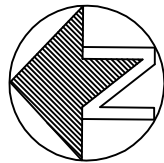


Single Family Residence
Lot 810-A, Eva Place
Rockwall, TX 75032

Owners: Mr. Ignacio
Cardenas and Family

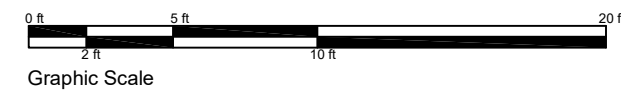
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JHR
DATE:
3-23-2019
PLAN NUMBER:

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1
140 OF - 8

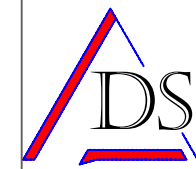


1ST FLOOR PLAN

DIMENSIONAL LAYOUT



Drafting Solutions - Allen, TX (972) 697-6258
 DISCLAIMER: These plans are intended to provide basic construction information in site work, concrete, framing, electrical or mechanical trades necessary to complete the structure. These plans must be verified by the builder or the person in authority for the job. Any discrepancy, error or omission, if found, is to be brought to the attention of the drafter before any construction, work or purchase is made. All structural elements, such as piers and footings, retaining and shear walls, floor and roof beams, trusses, rafters, floor and ceiling joists, columns, footings and concrete floors must be sized and designed by a registered engineer. Drafting Solutions will not be responsible for these designs and/or approvals. The limit for drafter's liability will not exceed the fee paid for plans.

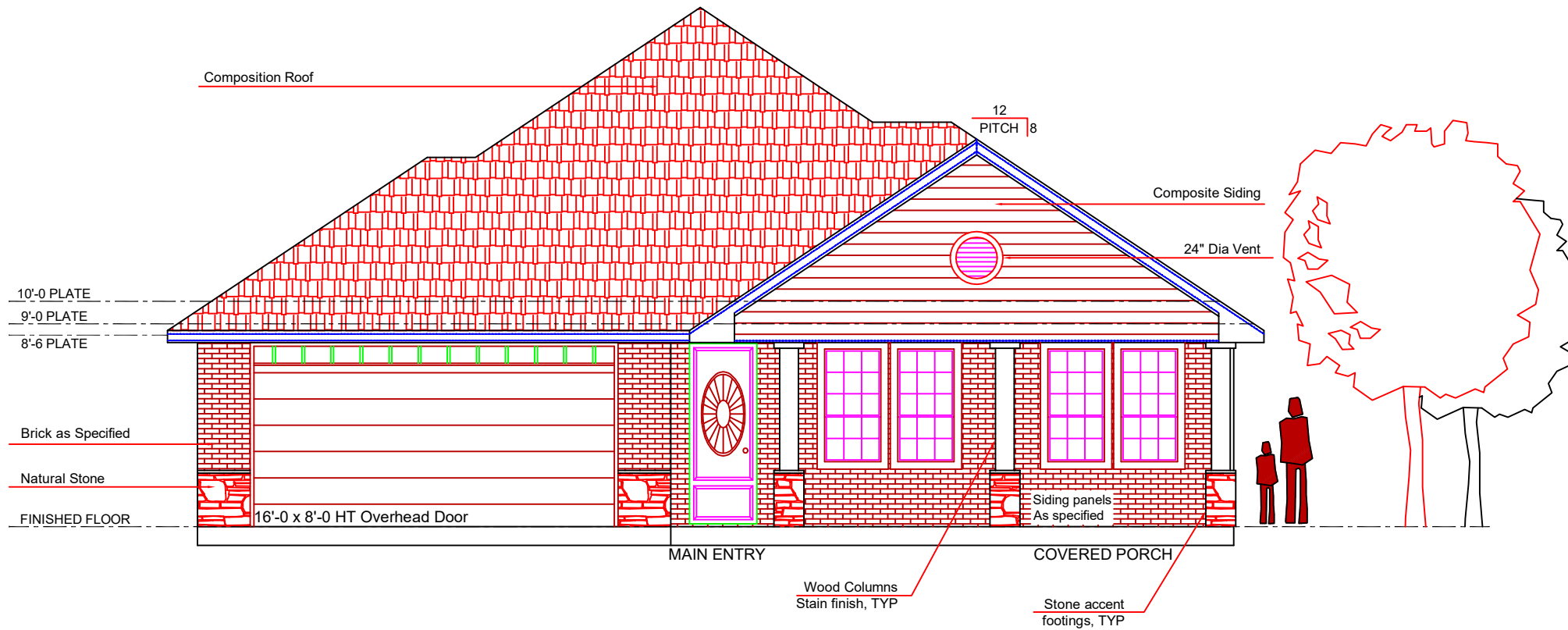


Single Family Residence
 Lot 810-A, Eva Place
 Rockwall, TX 75032

Owners: Mr. Ignacio Cardenas and Family

DRAWN BY:
 JHR
DATE:
 3-23-2019
PLAN NUMBER:

SHEET
3

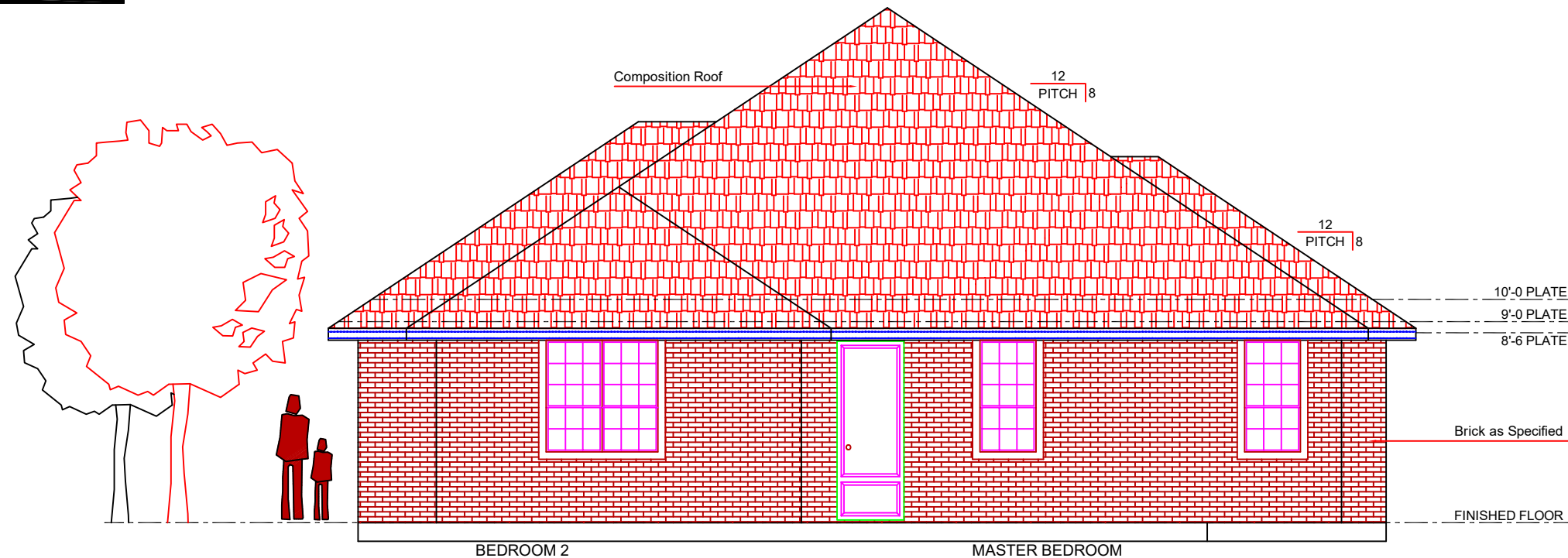


WEST (FRONT) ELEVATION

FROM EVA PLACE STREET



Graphic Scale



EAST (BACK) ELEVATION

FROM PATIO



Single Family Residence
 Lot 810-A, Eva Place
 Rockwall, TX 75032

Owners: Mr. Ignacio
 Cardenas and Family

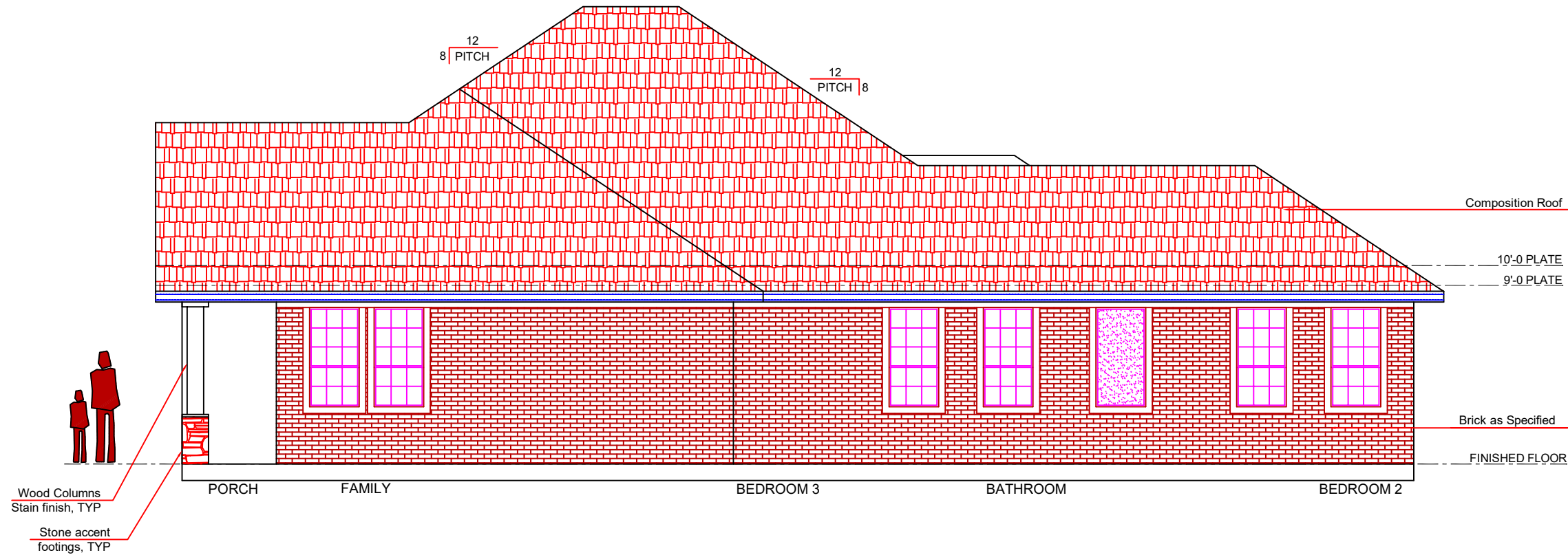
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DATE:
 3-23-2019

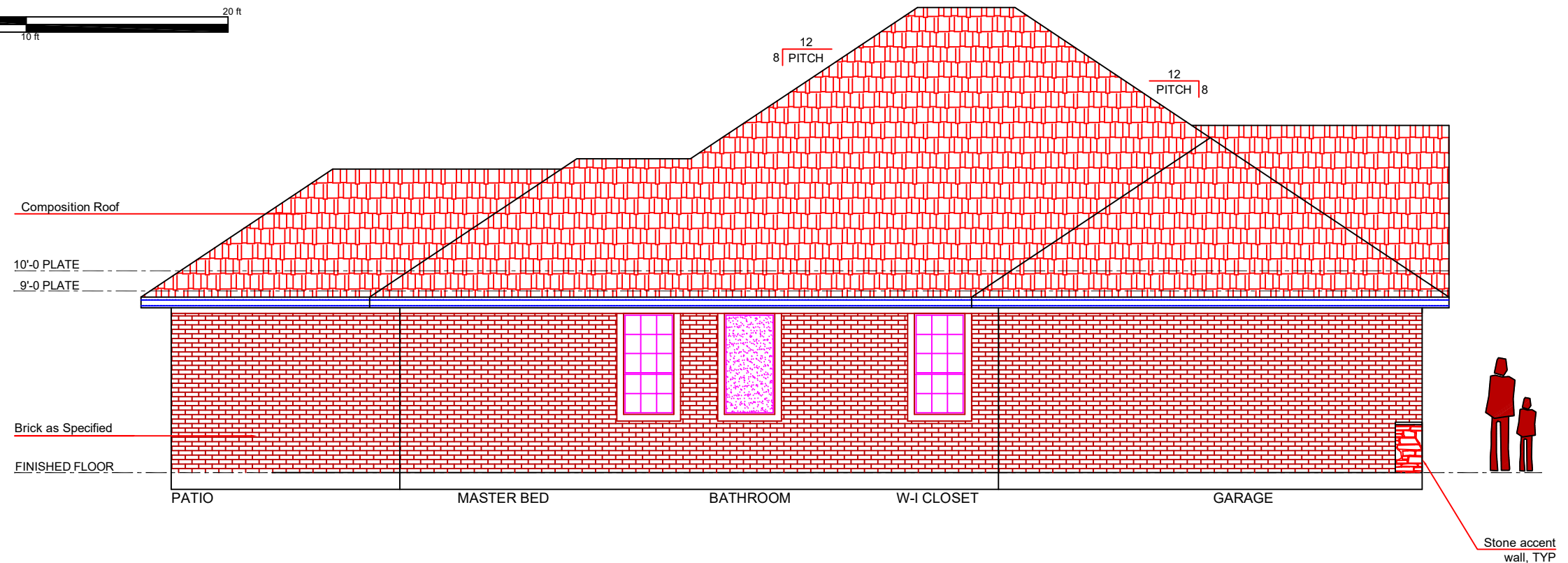
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4

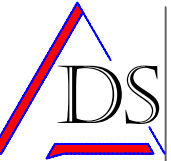


SOUTH (RIGHT) ELEVATION



NORTH (LEFT) ELEVATION

Drafting Solutions - Allen, TX (972) 697-6258
 DISCLAIMER: These plans are intended to provide basic construction information in site work, concrete, framing, electrical or mechanical trades necessary to complete the structure. These plans must be verified by the builder or the person in authority for the job. Any discrepancy, error or omission, if found, is to be brought to the attention of the drafter before any construction, work or purchase is made. All structural elements, such as piers and footings, retaining and shear walls, floor and roof beams, trusses, rafters, floor and ceiling joists, columns, footings and concrete floors must be sized and designed by a registered engineer. Drafting Solutions will not be responsible for these designs and/or approvals. The limit for drafter's liability will not exceed the fee paid for plans.

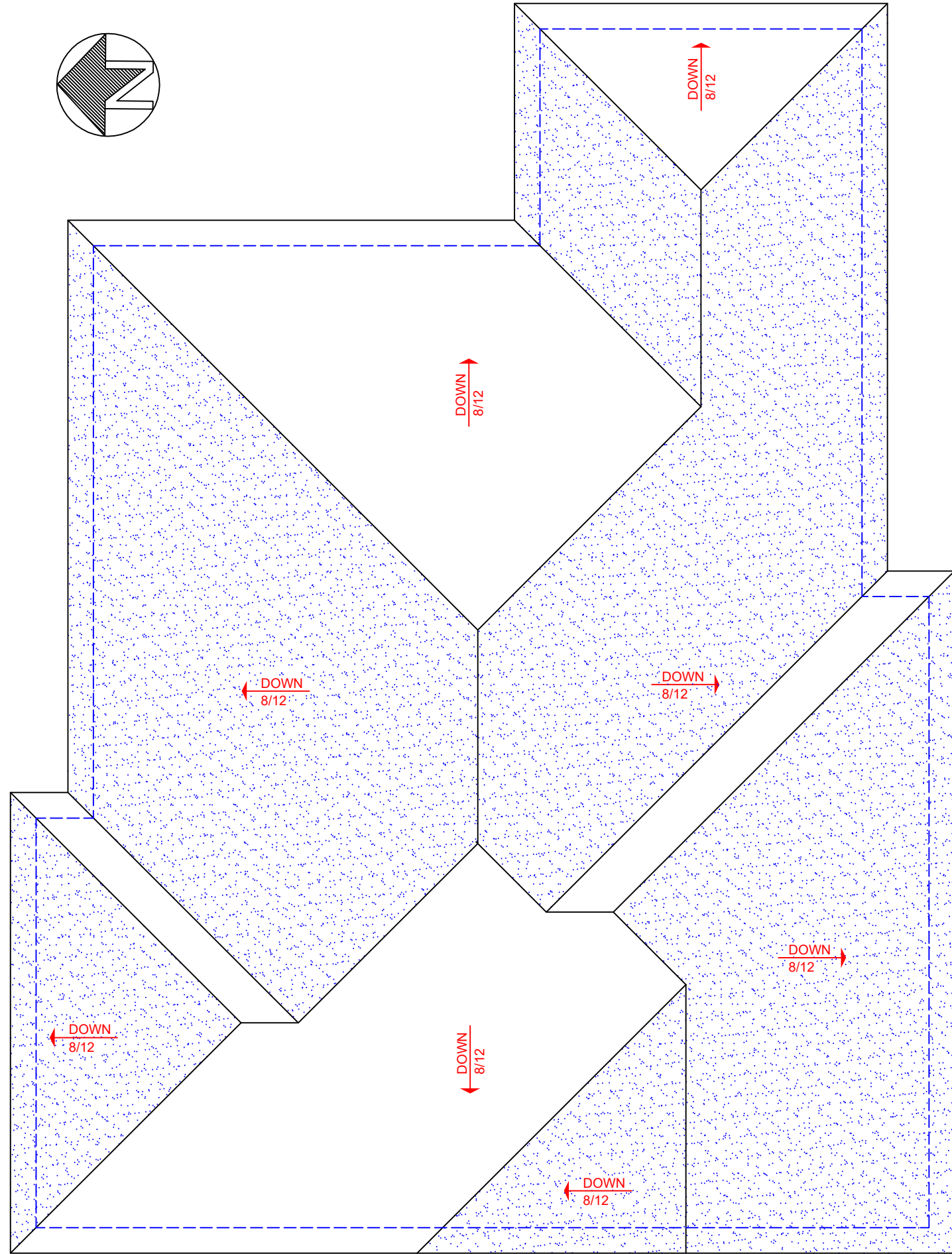
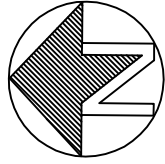


Single Family Residence
Lot 810-A, Eva Place
Rockwall, TX 75032

Owners: Mr. Ignacio
Cardenas and Family

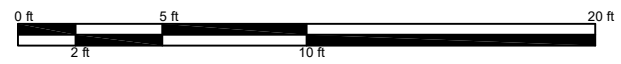
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 JHR
DATE:
 3-23-2019
PLAN NUMBER:

SHEET
5



ROOF PLAN

COMPOSITION ROOF SHINGLES



Graphic Scale

Drafting Solutions - Allen, TX (972) 697-6258

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Single Family Residence
Lot 810-A, Eva Place
Rockwall, TX 75032

Owners: Mr. Ignacio
Cardenas and Family

DRAWN BY:
JHR

DATE:
3-23-2019

PLAN NUMBER:

SHEET
7

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Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
115 Eva Place	Single-Family Home	2008	1,529	N/A	Vinyl Siding
124 Eva Place	Single-Family Home	1973	980	150	Vinyl Siding
135 Eva Place	Single-Family Home	1985	1,568	462	Vinyl Siding
146 Eva Place	Single-Family Home	1993	1,368	N/A	Vinyl Siding
147 Eva Place	Subject Property		RCAD	Vacant	
154 Eva Place	Accessory Building			500	Wood
159 Eva Place	Single-Family Home		1,250	N/A	Vinyl Siding
162 Eva Place	Single-Family Home	2008	1,729	64	Brick
172 Eva Place	Single-Family Home	1985	980	150	Vinyl Siding
173 Eva Place	Vacant				
186 Eva Place	Single-Family Home	2007	1,058	N/A	Stucco
187 Eva Place	Single-Family Home	1985	672	N/A	Vinyl Siding
197 Eva Place	Vacant				
198 Eva Place	Single-Family Home	1977	980	64	Vinyl Siding
209 Eva Place	Vacant				
214 Eva Place	Single-Family Home	1964	600	N/A	Wood
228 Eva Place	Single-Family Home	2006	650	450	Brick
109 Diana	Single-Family Home	1984	1,008	N/A	Wood Siding
	Averages:	1990	1,106	263	



109 Diana Drive



115 Eva Place



124 Eva Place



135 Eva Place



146 Eva Place



159 Eva Place



162 Eva Place



172 Eva Place



186 Eva Place



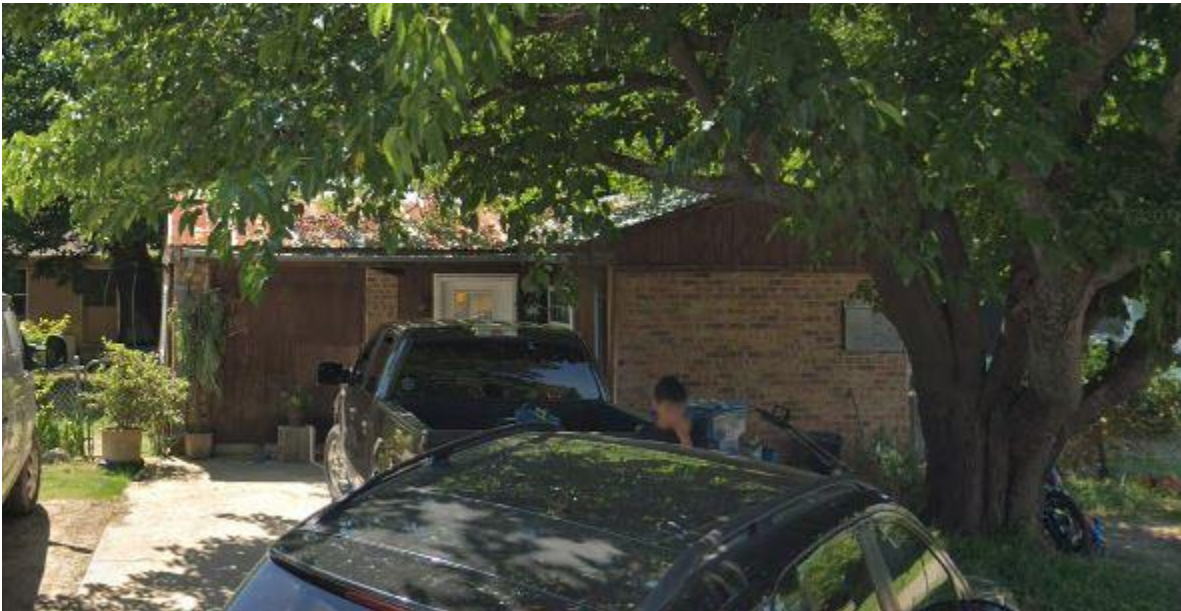
187 Eva Place



198 Eva Place



214 Eva Place



228 Eva Place

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.158-ACRE TRACT OF LAND, IDENTIFIED AS LOT 810-A0, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Ignacio Cardenas for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.158-acre tract of land identified as Lot 810-A0, Rockwall Lake Properties Development #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 147 Eva Place, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2TH DAY OF AUGUST, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

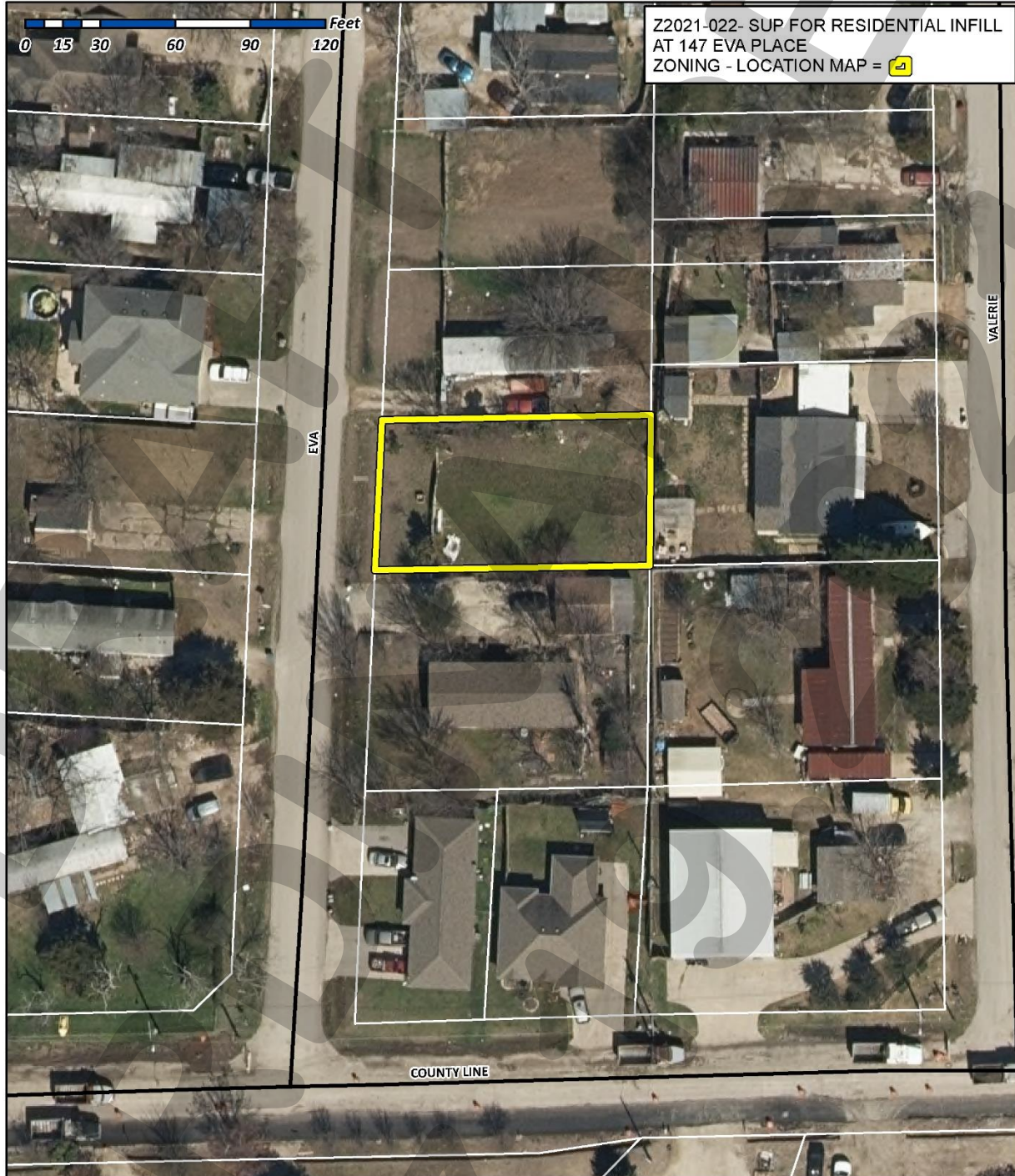
1st Reading: July 19, 2021

2nd Reading: August 2, 2021

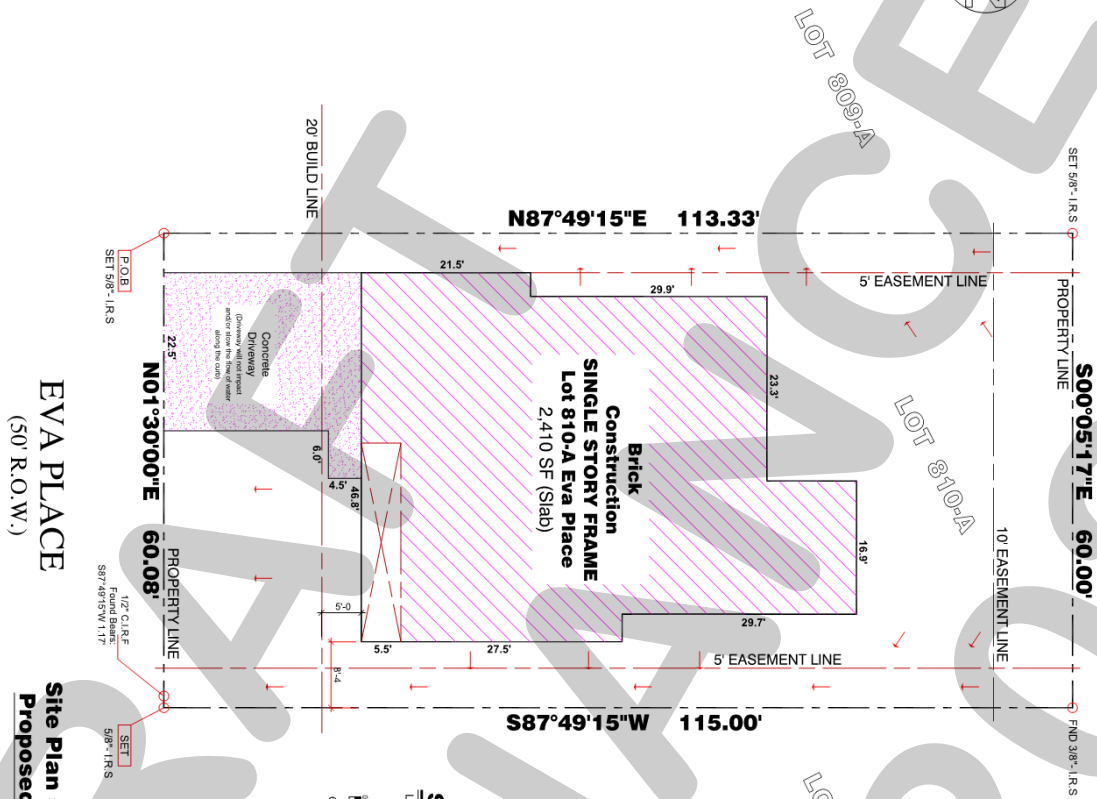
Exhibit 'A'
Location Map

Address: 147 Eva Place

Legal Description: Lot 810-A0, Rockwall Lake Estates #2 Addition



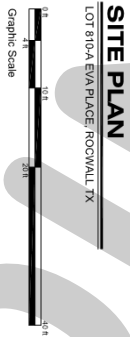
**Exhibit 'B':
Residential Plot Plan**



EVA PLACE
(50' R.O.W.)

**Site Plan shown with
Proposed Drainage**

SURVEY PLAT DESCRIPTION:
Property located at No. LOT 810-A, of ROCKWALL LAKE PROPERTIES Development No 2, an Addition to ROCKWALL COUNTY, Texas, according to the plat thereof recorded in CABINET A, SLIDE 79, of the PLATS Records of Rockwall County, Texas.

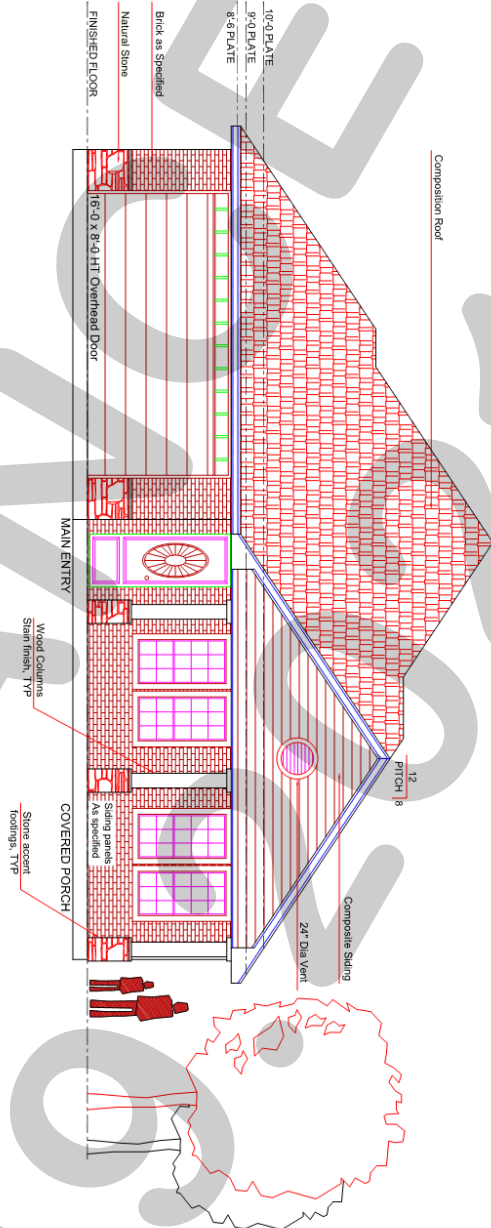
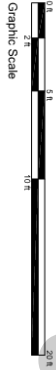


- NOTES:**
- Grading and Drainage shall not negatively impact surrounding properties. Current drainage flows to EVA PLACE street.
 - Proposed drainage continue to flow to street, however, elevation needs to be raised.
 - A minimum slope of 5% is required (10% is preferred) for at least the first 8ft away from the structure on all sides.
 - As required for this property, a swale of 1% slope (minimum) will be constructed to carry all runoff to EVA PLACE street.
 - If AC unit is located on the direction of the swale (North or South), the AC unit shall not block the water flow on the swale direction.
 - The construction of the Driveway shall not impact or slow down the flow of water along the concrete curb.

Exhibit 'C':
Building Elevations

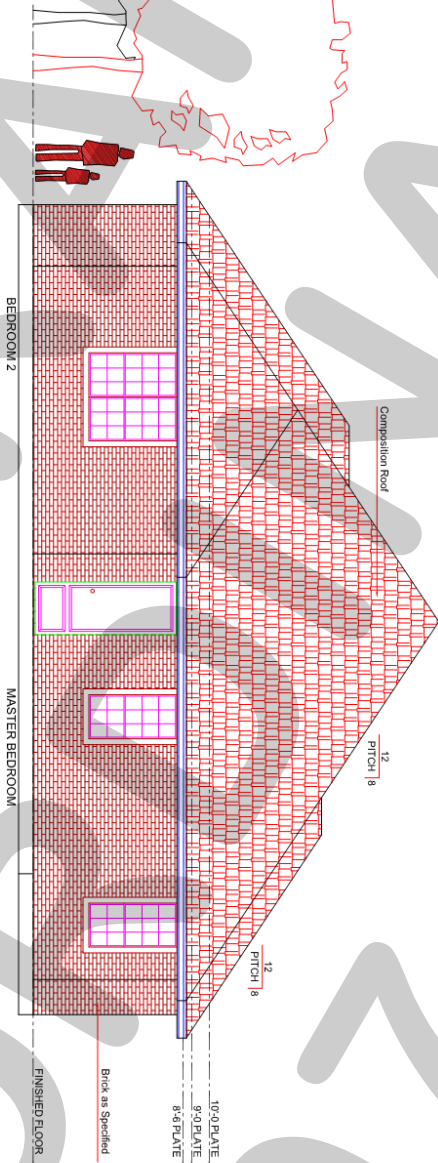
WEST (FRONT) ELEVATION

FROM EVA PLACE STREET

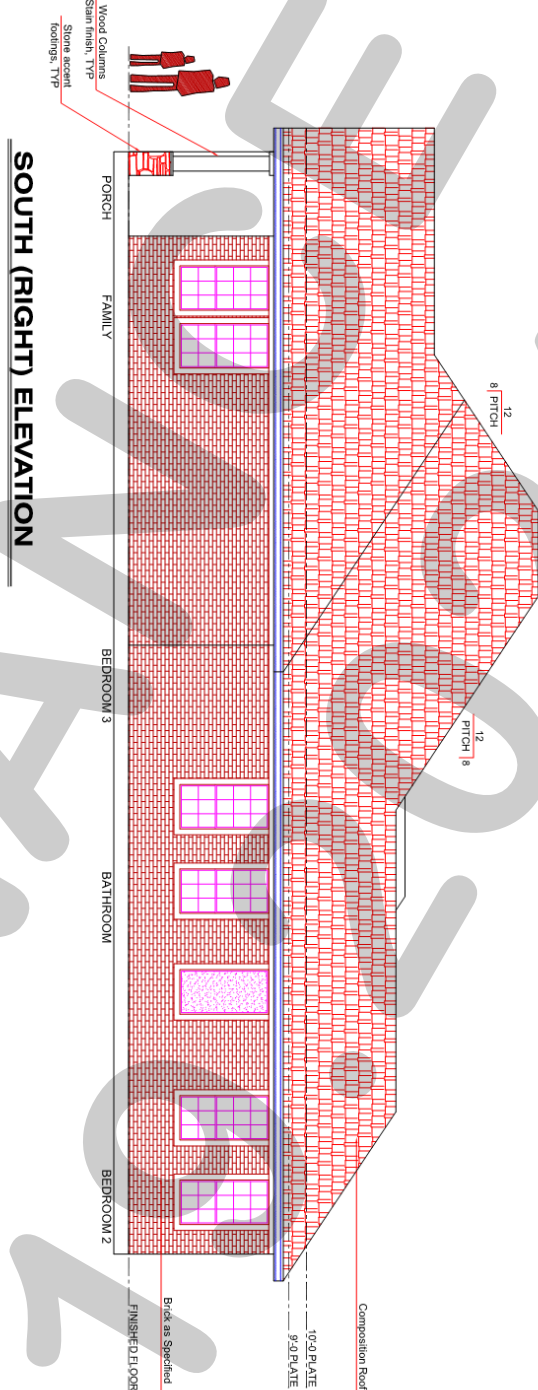


EAST (BACK) ELEVATION

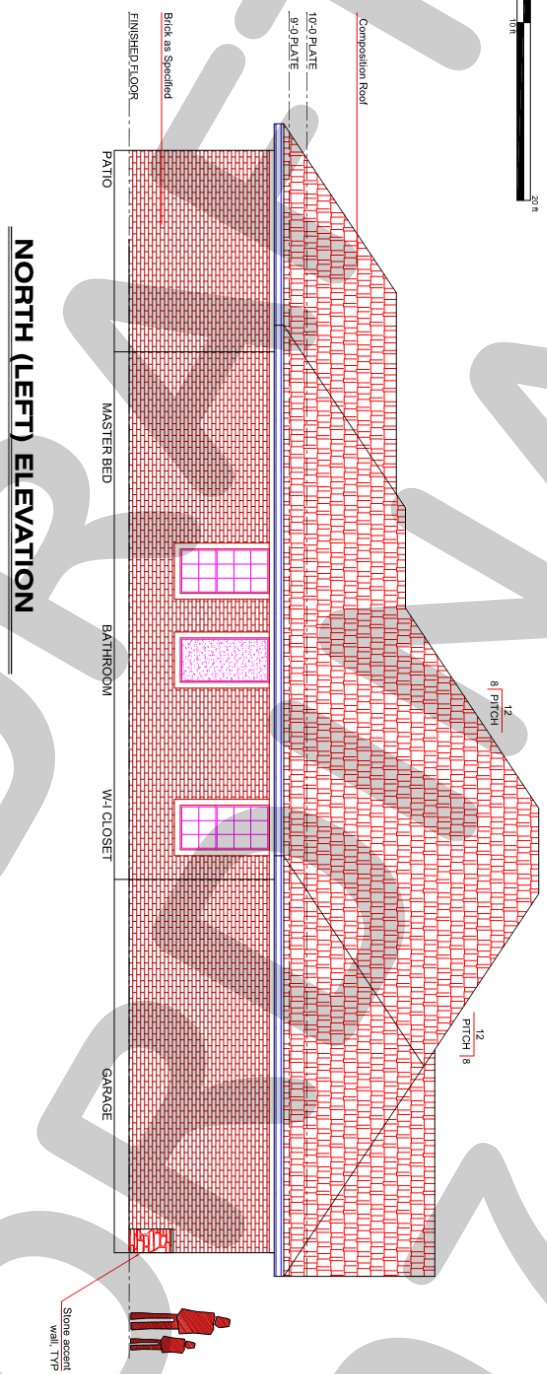
FROM PATIO



**Exhibit 'C':
Building Elevations**



SOUTH (RIGHT) ELEVATION



NORTH (LEFT) ELEVATION



MEMORANDUM

TO: Mary Smith, Interim City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: July 19, 2021

SUBJECT: Z2021-023; SPECIFIC USE PERMIT FOR AN ACCESSORY BUILDING AT 3221 DIAMOND WAY DRIVE

Attachments

Case Memo
Development Application
Location Map
HOA Notification Map
Neighborhood Notification Email
Property Owner Notification Map
Property Owner Notification List
Public Notice
Residential Plot Plan
Building Elevations
Building Specifications
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by Don Holamon for the approval of an ordinance for a *Specific Use Permit (SUP)* allowing an *Accessory Building* on a 1.50-acre parcel of land identified as Lot 12, Block A, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 3221 Diamond Way Drive, and take any action necessary (1st Reading).

Action Needed

The City Council is being asked to approve, approve with condition, or deny the *Specific Use Permit*.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: July 19, 2021
APPLICANT: Don Holamon
CASE NUMBER: Z2021-023; *Specific Use Permit for an Accessory Building at 3221 Diamond Way Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Don Holamon for the approval of a Specific Use Permit (SUP) for an *Accessory Building* on a 1.50-acre parcel of land identified as Lot 12, Block A, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 3221 Diamond Way Drive, and take any action necessary.

BACKGROUND

On October 21, 1996, the City Council approved a preliminary plat for the Sterling Farms Subdivision [Case No. PZ1996-072-01]. On March 17, 1997, the City Council approved a final plat for the Sterling Farms Subdivision [Case No. PZ1996-079-01]. At the time of the preliminary plat and final plat approval the Sterling Farms Subdivision was outside the City's corporate limits, and was approved in accordance with an *Interlocal Cooperation Agreement* between Rockwall County and the City of Rockwall concerning the approval of subdivision plats. The approval of this subdivision plat established the subject property as Lot 12, Block A, Sterling Farms Addition. The subject property was annexed by the City Council on July 21, 1997 by *Ordinance No. 97-14* [Case No. A1997-001]. On April 1, 2002, the City Council approved a zoning case [Case No. PZ2001-106-01] rezoning the subject property to Single-Family Estate (SFE) District from Agricultural (AG) District. On May 6, 2002, the City Council approved a subsequent zoning case [Case No. PZ2002-019-01] rezoning the subject property to Single-Family Estate 1.5 (SFE-1.5) District from Single-Family Estate (SFE) District. According to the Rockwall County Appraisal District (RCAD), a 1,830 SF single-family home was constructed on the subject property in 1997, a 530 SF attached carport constructed in 2003, a 640 SF storage accessory building was constructed in 2013, and a 450 SF detached carport was constructed in 2006. These structures currently exist on the subject property, and no additional changes have been made.

PURPOSE

The applicant -- *Don Holamon* -- is requesting the approval of a Specific Use Permit (SUP) to allow for the construction of an accessory building that exceeds the maximum number of accessory building permitted on a subject property as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 3221 Diamond Way Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Diamond Way Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are five (5) parcels of land developed with single-family homes, that are situated within the Sterling Farms Estates Subdivision, and zoned Single-Family Estate 1.5 (SFE-1.5) District. Beyond this is SH-276, which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are two (2) large vacant tracts of land zoned Planned Development 82 (PD-82) for Single-Family 10 (SF-10) District land uses (*i.e. these tracts are future phases of the Terracina Estates Subdivision*). Beyond this is Shannon Elementary, which is zoned Planned Development District 64 (PD-64).

East: Directly east of the subject property are six (6) parcels of land developed with single-family homes, that are situated within the Sterling Farms Estates Subdivision, and zoned for Single-Family Estate 1.5 (SFE-1.5) District. Beyond this is the Timber Creek Estates Subdivision, which consists of 235 lots zoned Single-Family 10 (SF-10) District.

West: Directly west of the subject property are nine (9) parcels of land developed with single-family homes, that are situated within the Sterling Farms Subdivision, and zoned Single-Family Estate 1.5 (SFE-1.5) District. Beyond this is S. FM-549, which is identified as a *TXDOT4D* (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Lofland Farms Phase 5B Subdivision, which consists of 75 single-family homes.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, survey, residential plot plan, building elevations, and a building specification sheet requesting to permit a 12-foot by 20-foot (*or 240 SF*) accessory building. The proposed elevations indicate the façade of the accessory building will be metal. Staff should point out that this material is not characteristic of the primary structure, which is composed primarily of brick. The proposed accessory structure will have a roof pitch of 3:12, which will be constructed metal *R-Panel*. The accessory structure will be situated near the rear of the subject property approximately 151-feet from the rear (*or southern*) property line, 78-feet from the east side yard, and 63-feet from the west side yard. In addition, the proposed structure will be situated ten (10) feet from the existing accessory building.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family Estate 1.5 (SFE-1.5) District allows a total of two (2) accessory structures. For accessory buildings, the Single-Family Estate 1.5 (SFE-1.5) District allows either one (1) accessory building at 400 SF and one (1) detached garage at 625 SF, or a single accessory building at 1,000 SF. In addition, accessory buildings are limited to a maximum height of 15-feet and a minimum roof pitch of 3:12. The setbacks for accessory structures in a Single-Family Estate 1.5 (SFE-1.5) District are ten (10) feet from the rear property line and 25-feet from the side yard property line. Accessory buildings are also required to have a minimum of ten (10) feet of separation from any other building or structure. This section of the code goes on to state, "(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [and] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)." In addition, the section states that "(a)ll accessory buildings that are not portable accessory buildings require a permanent concrete foundation."

STAFF ANALYSIS

In this case, the applicant's request generally conforms with the density and dimensional requirements for accessory buildings; however, the accessory building does not adhere to the maximum number of accessory structures allowed on a property. According to Section 07.04, *Accessory Structure Development Standards*, of the Unified Development Code (UDC), "(i)f more than one (1) accessory building is proposed or if an accessory building, 625 SF or less, is existing then the maximum accessory building that can be constructed is 400 SF ... (i)f there is an existing accessory building greater than 625 SF no additional accessory building or structures are permitted." In this case, the Rockwall County Appraisal District (RCAD) shows that the subject property has an existing accessory building that total 640 SF, and would preclude the subject property from constructing a second accessory building. In addition, properties in the Single-Family Estate 1.5 (SFE-1.5) District are permitted to have a maximum of two (2) accessory buildings. In this case the subject property has three (3) existing accessory structures (*i.e. two [2] carports and an accessory building*). The proposed accessory building would be the fourth accessory structure proposed on the subject property. Finally, the proposed accessory building does not appear to be architecturally compatible with the primary structure. Based on the proposed plans the applicant is requesting a Specific Use

Permit (SUP) to allow for an accessory building that exceeds the maximum number of accessory buildings permitted on the subject property. Staff has performed a review of the homes in the surrounding subdivision using aerial imagery (*a total of 47 single-family homes that are in the Sterling Farms Subdivision*), and determined that -- *while the accessory building is of a similar size to other accessory buildings in the area* -- none of the properties have four (4) accessory structures. Staff should note that 34 of the 47 homes surveyed had accessory structures, with the average number of accessory structures per lot being 1.7. With all of this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On June 29, 2021, staff mailed 19 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Fontanna Ranch, Lofland Farms, and Timber Creek Homeowner's Associations (HOAs), which are the only HOA/Neighborhood Organizations that are within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for an accessory building that exceeds the maximum permissible number of accessory structures on the subject property, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The Accessory Building shall generally conform to the concept plan and the conceptual building elevations depicted in Exhibit 'B & 'C' of this ordinance; and
 - (b) The *Accessory Building* shall not exceed a maximum size of 240 SF; and
 - (c) The *Accessory Building* shall not exceed a maximum height of 15-feet; and
 - (d) The Subject Property shall not have more than four (4) accessory structures.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On July 13, 2021, the Planning and Zoning Commission approved a motion to approve the Specific Use Permit (SUP) with the conditions of approval by a vote of 5-1, with Commissioner Womble dissenting and Commissioner Deckard absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. 22021-023
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING: _____
CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

MASTER PLAT (\$100.00 + \$15.00 ACRE)¹

PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹

FINAL PLAT (\$300.00 + \$20.00 ACRE)¹

REPLAT (\$300.00 + \$20.00 ACRE)¹

AMENDING OR MINOR PLAT (\$150.00)

PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

SITE PLAN (\$250.00 + \$20.00 ACRE)¹

AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹

SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹

PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

TREE REMOVAL (\$75.00)

VARIANCE REQUEST (\$100.00)

NOTES:
¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 3221 Diamond Way Dr.

SUBDIVISION Sterling Farms Addition LOT 12 BLOCK A

GENERAL LOCATION Hwy 276 & FM 3549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SFE-1.5 CURRENT USE Residential

PROPOSED ZONING No Change PROPOSED USE SUP to Add 12'x 20' Storage Bldg.

ACREAGE 1.5 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Don Holamon</u>	<input type="checkbox"/> APPLICANT	
CONTACT PERSON	<u>Don Holamon</u>	CONTACT PERSON	
ADDRESS	<u>3221 Diamond Way Dr.</u>	ADDRESS	
CITY, STATE & ZIP	<u>Rockwall, TX 75032</u>	CITY, STATE & ZIP	
PHONE	<u>214-543-8584</u>	PHONE	
E-MAIL	<u>donandteriholamon@hotmail.com</u>	E-MAIL	

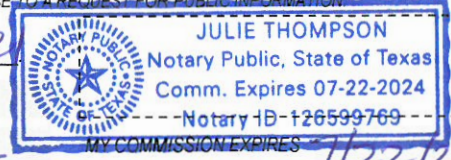
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Don Holamon [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$207.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF June, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF June, 2021

OWNER'S SIGNATURE Don Holamon



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Julie Thompson



Z2021-023- SUP FOR AN ACCESSORY BUILDING
 AT 3221 DIAMOND WAY DRIVE
 ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

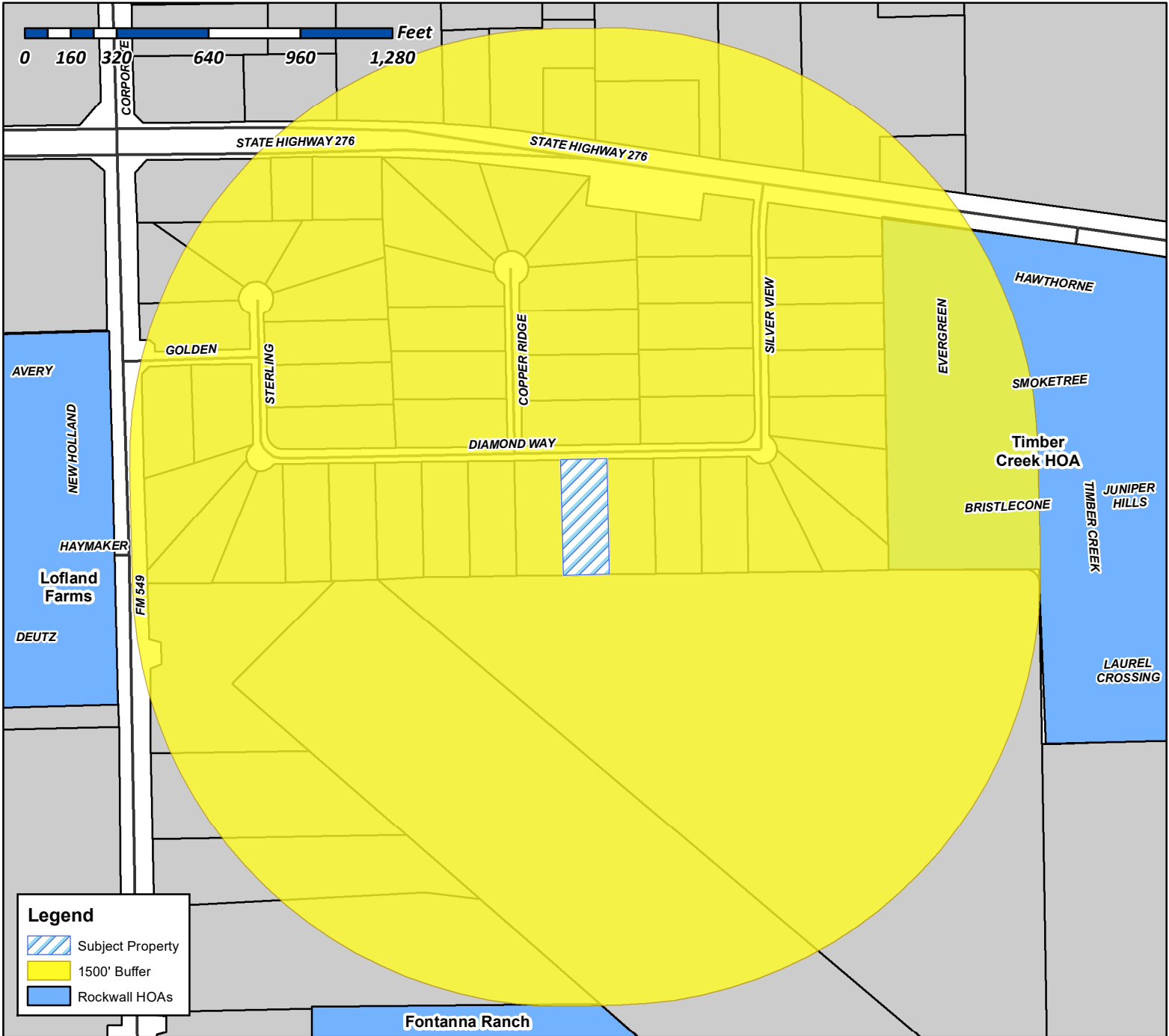




City of Rockwall

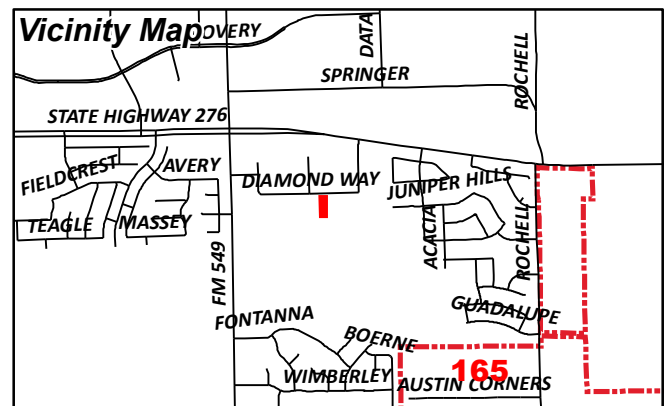
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2021-023
Case Name: SUP for an Accessory Building
Case Type: Zoning
Zoning: Single-Family Estates 1.5 (SFE-1.5)
Case Address: 3221 Diamond Way Drive

Date Created: 6/19/2021
For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Monday, June 28, 2021 4:54 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-023]
Attachments: Public Notice (06.28.2021).pdf; HOA Map Z2021-023.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on June 25, 2021. The Planning and Zoning Commission will hold a public hearing on Tuesday, July 13, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 19, 2021 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-023 SUP for an Accessory Building

Hold a public hearing to discuss and consider a request by Don Holamon for the approval of a *Specific Use Permit (SUP)* for an *Accessory Building* on a 1.50-acre parcel of land identified as Lot 12, Block A, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 3221 Diamond Way Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

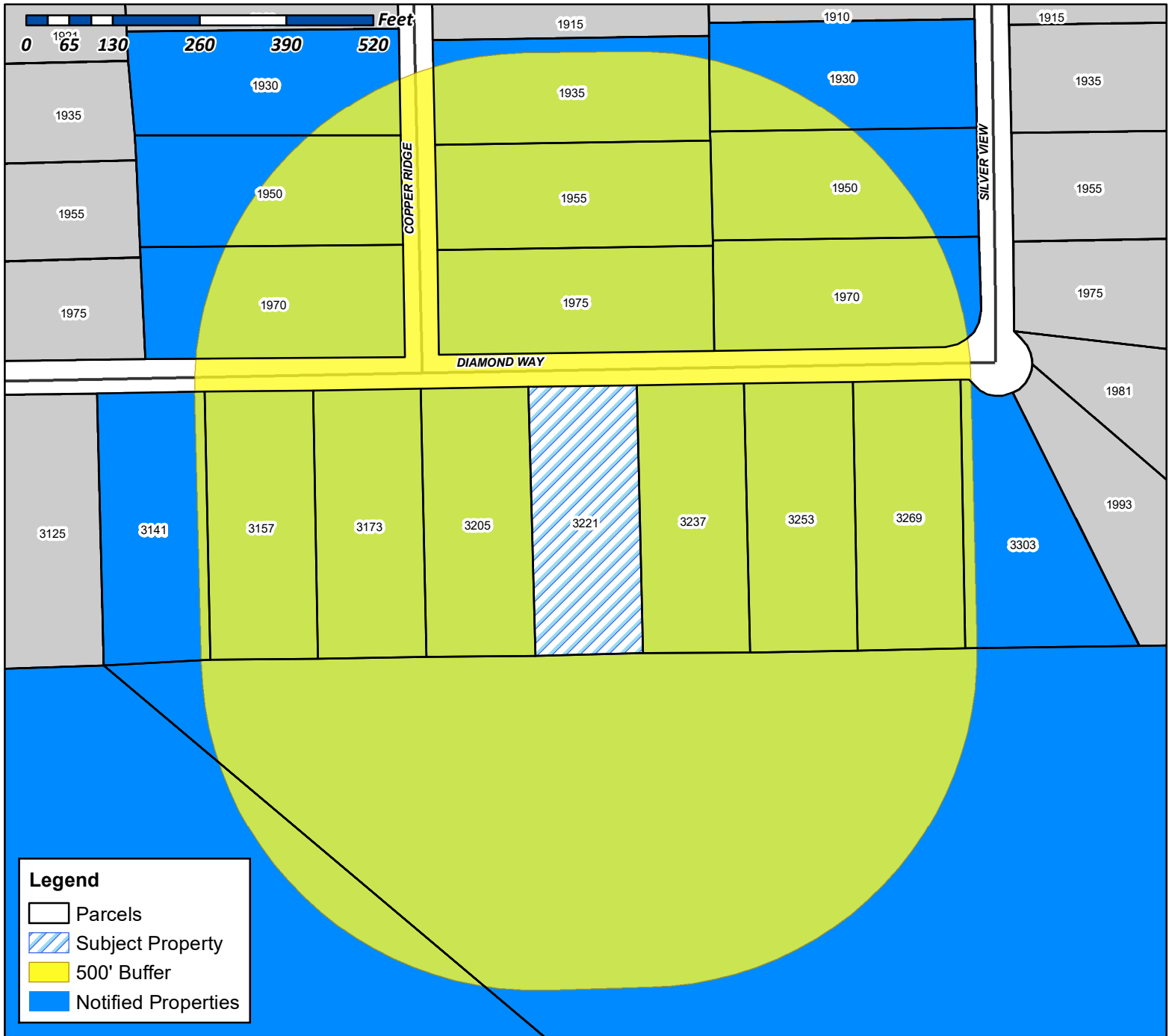
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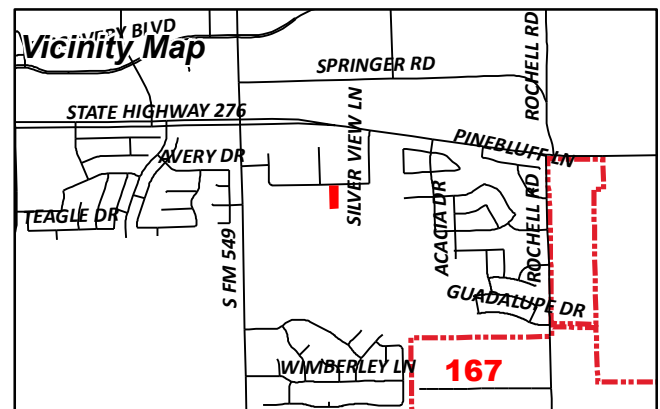
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2021-023
Case Name: SUP for an Accessory Building
Case Type: Zoning
Zoning: Single-Family Estates 1.5 (SFE-1.5)
Case Address: 3221 Diamond Way Drive



Date Created: 6/19/2021
 For Questions on this Case Call (972) 771-7745

BLOOMFIELD HOMES LP
1050 E STATE HWY 114 EAST SUITE 210
SOUTHLAKE, TX 76092

USSERY DAVID & PAMELA
1930 COPPER RIDGE CIR
ROCKWALL, TX 75032

REYNOLDS CHRISTOPHER & RENA
1930 SILVER VIEW LN
ROCKWALL, TX 75032

DIAZ JORGE L & LINDA A
1935 COPPER RIDGE CIR
ROCKWALL, TX 75032

SCOTT MICHAEL C & DOROTHY
1950 COPPER RIDGE CIR
ROCKWALL, TX 75032

AVILA HUMBERTO J II
1950 SILVER VIEW LN
ROCKWALL, TX 75032

RISHER CONNIE LYNN
1955 COPPER RIDGE CIR
ROCKWALL, TX 75032

WOMMACK KEVIN DALE AND
PAMELA MCCOLLUM
1970 COPPER RIDGE CIR
ROCKWALL, TX 75032

STEWART TOMMY & ANNETT
1970 SILVER VIEW LANE
ROCKWALL, TX 75032

HELMS DEBBIE B
1975 COPPER RIDGE CIR
ROCKWALL, TX 75032

GUZMAN GOMEZ SUSAN W &
ELVIN OMAR GUZMAN GOMEZ
3141 DIAMOND WAY DR
ROCKWALL, TX 75032

COLEMAN PAMELA A
3157 DIAMOND WAY DR
ROCKWALL, TX 75032

CHAPMAN JERREL & MELBA
3173 DIAMOND WAY DR
ROCKWALL, TX 75032

MILLER VICKI S
3205 DIAMOND WAY DRIVE
ROCKWALL, TX 75032

HOLAMON TERI D AND DON P
3221 DIAMOND WAY DR
ROCKWALL, TX 75032

CAIN EULIN K II & ANITA J
3237 DIAMOND WAY DR
ROCKWALL, TX 75032

DURKEE DAVID M
3253 DIAMOND WAY DRIVE
ROCKWALL, TX 75032

HUTTON RENELL AND JAMES
3269 DIAMOND WAY DR
ROCKWALL, TX 75032

HOGUE THOMAS
3303 DIAMOND WAY DRIVE
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-023: Specific Use Permit for an Accessory Building

Hold a public hearing to discuss and consider a request by Don Holamon for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 1.50-acre parcel of land identified as Lot 12, Block A, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 3221 Diamond Way Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 13, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 19, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 19, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-023: Specific Use Permit for an Accessory Building

Please place a check mark on the appropriate line below:

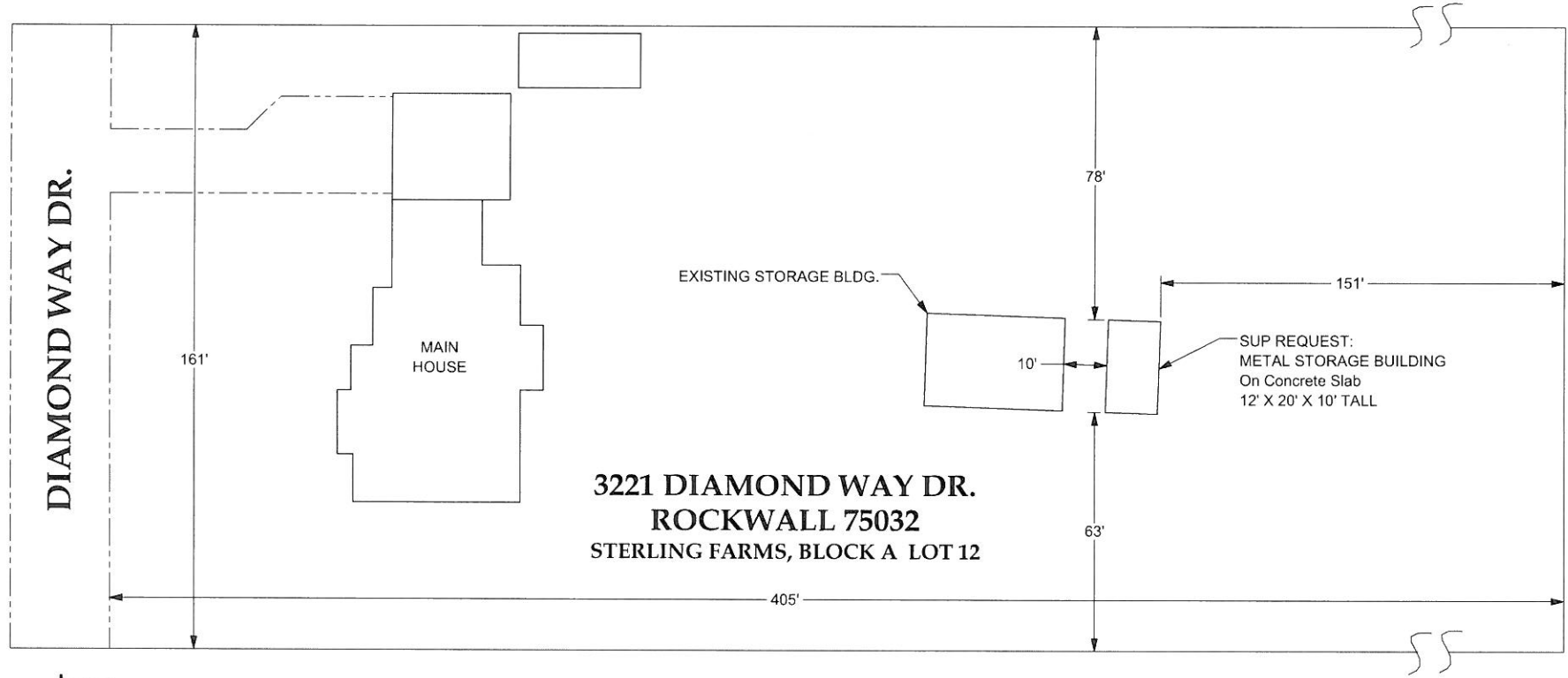
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

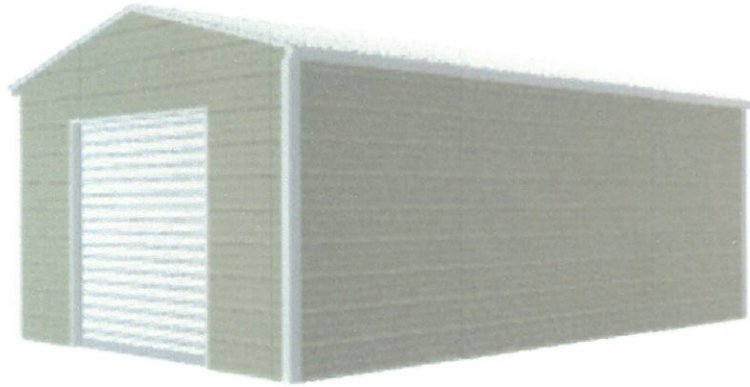
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



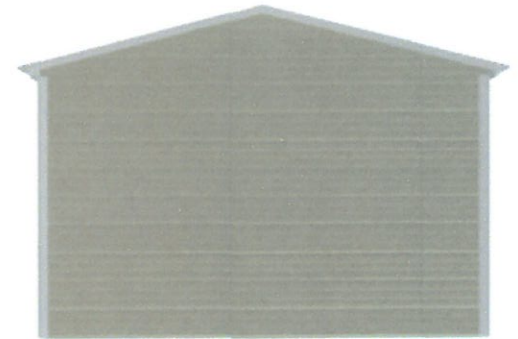
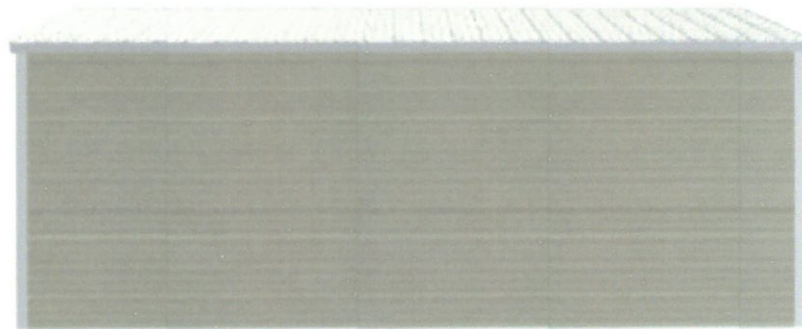
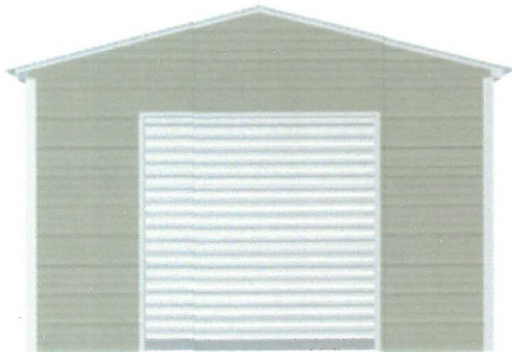
4N

3221 DIAMOND WAY DR.
ROCKWALL 75032
STERLING FARMS, BLOCK A LOT 12



General Contractor:
Texwin
1501 Goodnight Blvd.
Wills Point, TX 75169
800-636-4700

Contact:
James Parsons
sws.roycecity@gmail.com



Metal Storage Building
12' x 20' x 10' Tall

Here's Your Custom Design Quote (#1623946358182584)

Section	Description	Quantity	Amount
Structure Details			
	Style: Garage	1	-
	Roof: White*	1	-
	Trim: White*	1	-
	Siding: Ash Gray*	1	-
	Base Price: 12'x20	1	-
	Roof Style: Vertical Standard (Best)	1	-
	Roof Pitch: 3/12 (Standard)	1	-
	Roof Overhang: None	1	-
	Gauge: Heavy Duty Frame	1	-
	Leg Height: 7'- 8'	1	-
	Left Side: Fully Enclosed	1	-
	Left Side Siding: Horizontal	1	-
	Right Side: Fully Enclosed	1	-
	Right Side Siding: Horizontal	1	-
	Front End: Fully Enclosed	1	-
	Front End Siding: Horizontal	1	-
	Back End: Fully Enclosed	1	-
	Back End Siding: Horizontal	1	-
	Trusses: Standard	1	-
	Approximate center clearance: 8'-6" 9'-6"	1	-
Roll Doors & Ramps			
	6'x6' Rollup Door (as installed)	1	-
Frameouts			
	Corner Style: Square (Traditional)	1	-
Additional Options			
	29 Gauge (Standard)		
	If a Telescopic Lift is required, customer will provide		
		Subtotal:	-

Z2021-023

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN ACCESSORY BUILDING THAT EXCEEDS THE MAXIMUM PERMISSIBLE NUMBER OF ACCESSORY STRUCTURES ON A 1.4969-ACRE TRACT OF LAND, IDENTIFIED AS LOT 12, BLOCK A, STERLING FARMS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Don Holamon for the approval of a Specific Use Permit (SUP) to allow an *Accessory Building* that exceeds the maximum permissible number of accessory structures on a 1.4969-acre tract of land described as Lot 12, Block A, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estates 1.5 (SFE-1.5) District, addressed as 3221 Diamond Way Drive, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as

heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibit 'B & 'C'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 240 SF.
- (3) The *Accessory Building* shall not exceed a maximum height of 15-feet.
- (4) The *Subject Property* shall not have more than four (4) accessory structures.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2TH DAY OF AUGUST, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 19, 2021

2nd Reading: August 2, 2021

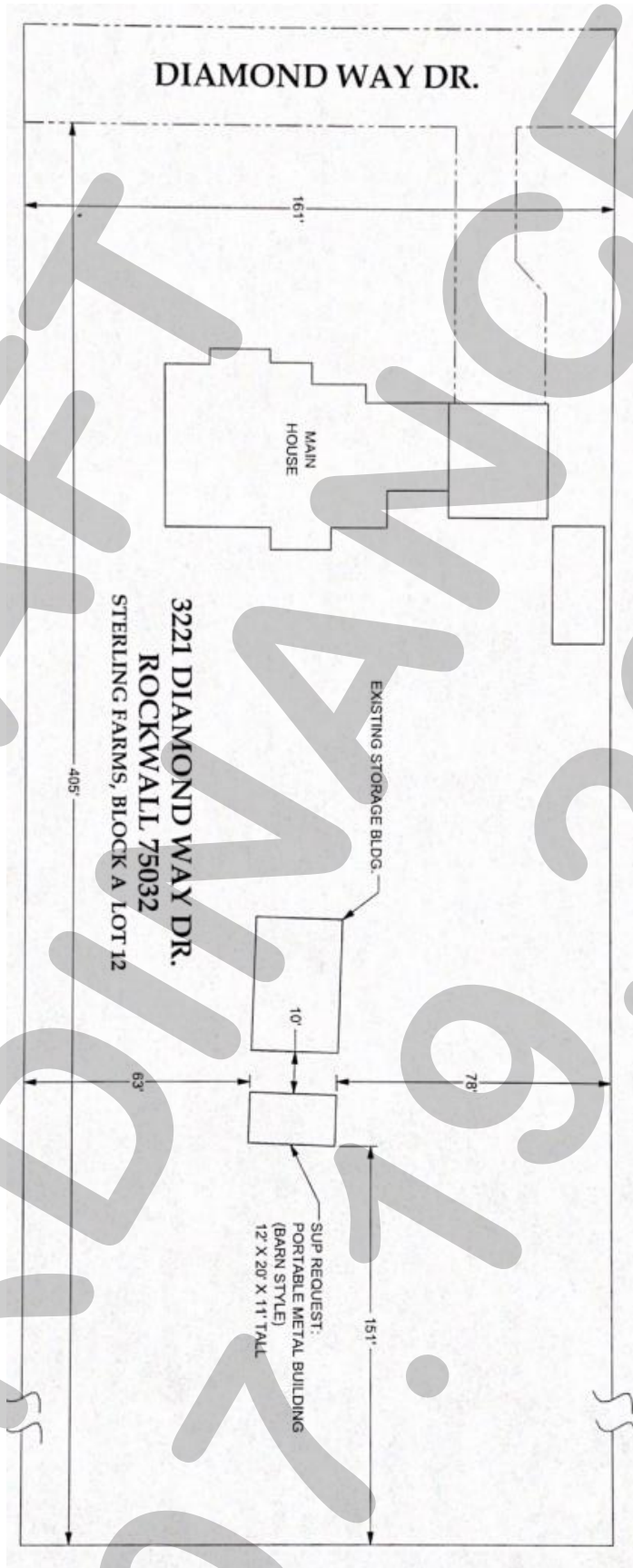
Exhibit 'A'
Zoning Exhibit

Address: 3221 Diamond Way Drive

Legal Description: Lot 12, Block A, Sterling Farms Addition



Exhibit 'B':
Residential Plot Plan



**Exhibit 'C':
Elevations**



**Metal Storage Building
12' x 20' x 10' Tall**

General Contractor:
Texwin
1501 Goodnight Blvd.
Wills Point, TX 75169
800-636-4700

Contact:
James Parsons
sws.roycecity@gmail.com



MEMORANDUM

TO: Mary Smith, Interim City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: July 19, 2021

SUBJECT: Z2021-024; AMENDMENT TO PLANNED DEVELOPMENT DISTRICT 46 (PD-46)

Attachments

Case Memo
Development Application
Location Map
HOA Notification Map
Neighborhood Notification Email
Property Owner Notification Map
Property Owner Notification List
Applicant's Letter
PD-46 (Ordinance No. 99-05)
Legal Description
Survey
Concept Plan
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Kris Sharp for the approval of an ordinance for a *Zoning Change* amending Planned Development District 46 (PD-46) to allow *Warehouse* as a permitted land use on a 1.90-acre parcel of land identified as Lot 5, Block A, Sharp Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, addressed as 3301 Springer Road, and take any action necessary (1st Reading).

Action Needed

The City Council is being asked to approve, approve with condition, or deny the *Zoning Change*.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: July 19, 2021
APPLICANT: Greg Wallis; *Mershawn Architects*
CASE NUMBER: Z2021-024; *Amendment to Planned Development District 46 (PD-46)*

SUMMARY

Hold a public hearing to discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Kris Sharp for the approval of a Zoning Change amending Planned Development District 46 (PD-46) to allow *Warehouse* as a permitted land use on a 1.90-acre parcel of land identified as Lot 5, Block A, Sharp Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, addressed as 3301 Springer Road, and take any action necessary.

BACKGROUND

The subject property was annexed -- *along with the rest of the land area that makes up Planned Development District 46 (PD-46)* -- by the City Council on July 21, 1997 by *Ordinance No. 97-14*. At the time of annexation, the subject property and the remainder of Planned Development District 46 (PD-46) were zoned Agricultural (AG) District; however, many of the land uses that exist today were already established uses at the time of annexation. Based on this, the City Council approved *Ordinance No. 99-05* on March 1, 1999, which changed the zoning of the area from an Agricultural (AG) District to Planning Development District 46 (PD-46). Under this Planned Development District all of the properties were given a base zoning of Commercial (C) District, but were also granted the ability to continue the current land use on each of the properties (*i.e. the zoning ordinance made the legally non-conforming land uses by-right land uses for each of the properties*). Currently, the subject property is a vacant parcel of land.

PURPOSE

On May 14, 2021, the applicant -- *Greg Wallis of Mershawn Architects* -- submitted a site plan proposing to construct a 22,000 SF office/warehouse building on the subject property. After reviewing the proposal, staff determined that the *Warehouse/Distribution Center* land use was not a permitted *by-right* land use on the subject property under the requirements of Planned Development District 46 (PD-46). Based on this, the applicant submitted a subsequent application of June 18, 2021 requesting to amend Planned Development District 46 (PD-46) to allow the *Warehouse/Distribution Center* land use as a permitted *by-right* land use on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 3301 Springer Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Springer Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 38.932-acre parcel of land (*i.e. Lot 2, Block B, Rockwall Technology Park, Phase III Addition*), which has a ~278,270 SF food manufacturing facility (*i.e. Bimbo Bakery*) situated on it.

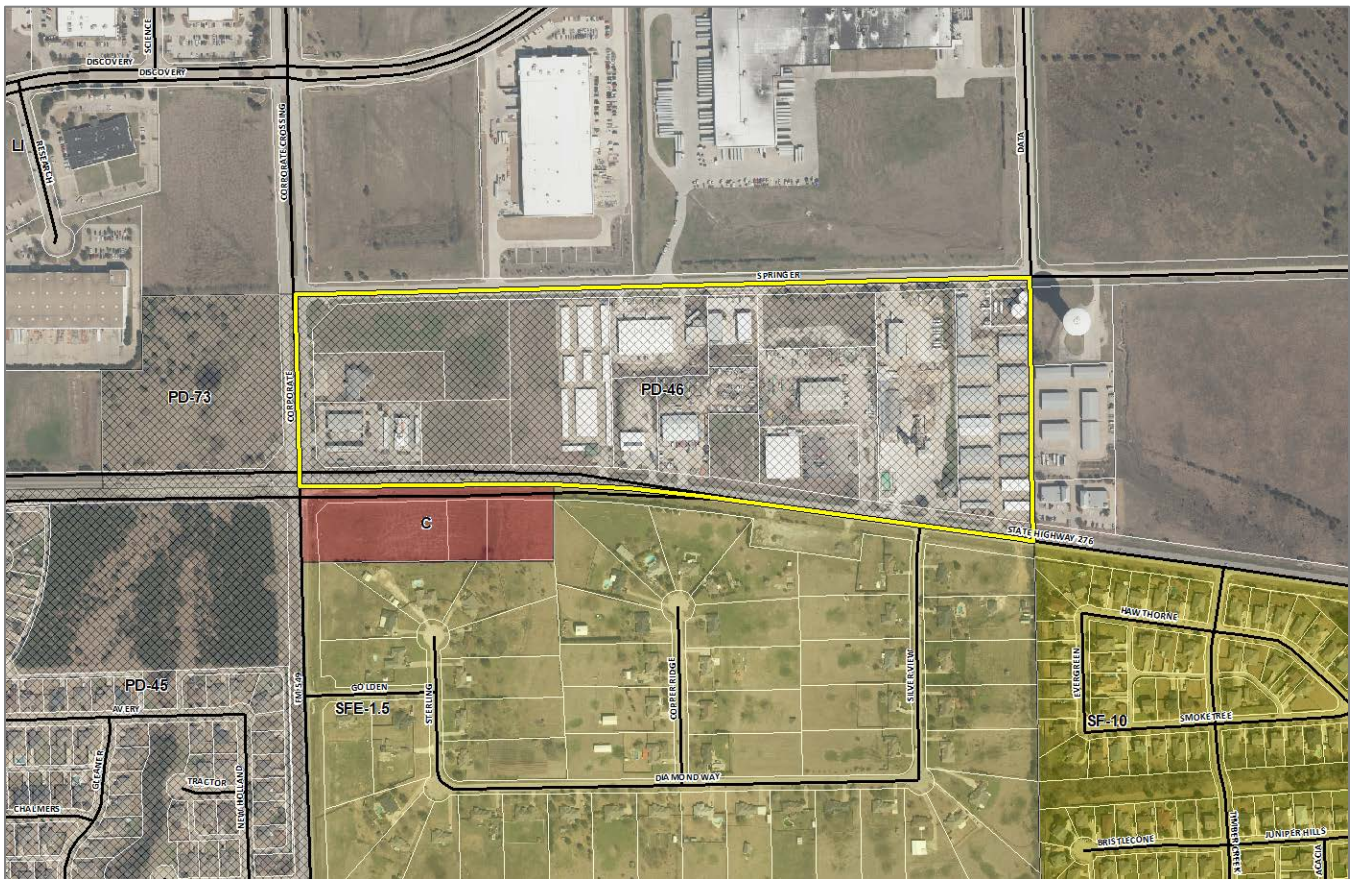
South: Directly south of the subject property is a 3.212-acre parcel of land (*i.e. Lot 6, Block A, Sharp Addition*), which is currently occupied by a *Rental Store with Outside Storage/Display* (*i.e. Sunbelt Rental*). South of this land use is a 1.964-acre parcel of land (*i.e. Lot 1, Block A, Sharp Addition*), which is occupied by a *Warehouse/Retail* business (*i.e. VAC Parts Warehouse*). Both of these properties are zoned Planned Development District 46 (PD-46) for

Commercial (C) District land uses. Beyond this is SH-276, which is identified as a TXDOT6D (*i.e. Texas Department of Transportation, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 5.317-acre tract of land (*i.e. Tract 2-13 of the J. A. Ramsey Survey, Abstract No. 186*), which is currently occupied by a *Light Manufacturing/Fabrication* facility (*i.e. Lattimore Material Company*). Beyond this is a 7.571-acre parcel of land (*i.e. Lot 1, Block 1, Highway 276 Self-Storage*), which is currently occupied with a *Mini-Warehouse* facility (*i.e. Highway 276 Self-Storage*). Both of these properties are zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses. Beyond this is the site of a municipal water tower for the City of Rockwall.

West: Directly west of the subject property is a 1.095-acre parcel of land (*i.e. Lot 4, Block A, Sharp Addition*), which is currently occupied with two (2) *Office/Warehouse* buildings. Beyond this is a 2.50-acre tract of land (*i.e. Tract 2-3 of the J. A. Ramsey Survey, Abstract No. 186*), which is currently occupied with an *Industrial* land use. West of this is a five (5) acre tract of land (*i.e. Tract 2-6 of the J. A. Ramsey Survey, Abstract No. 186*), that is currently occupied by a *Mini-Warehouse* facility (*i.e. The Storage Locker*). All of these properties are zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses.

FIGURE 1: LOCATION MAP



CHARACTERISTICS OF THE REQUEST

According to Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the *Warehouse/Distribution Center* land use is only permitted *by-right* in the Heavy Commercial (HC), Light Industrial (LI), and Heavy Industrial (HI) Districts. The applicant is requesting to have this land use incorporated as a *by-right* land use for the subject property, which is currently zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses. This zoning change would only affect the 1.90-acre subject property; however, staff has written the proposed ordinance to supersede the previous ordinance (*i.e. Ordinance No. 99-05*) and consolidate the applicant's request into a single regulating ordinance. While this is a new ordinance, no changes

with regard to the requirements, intent, or permitted land uses to any other property other than the subject property have been incorporated into Planned Development District 46 (PD-46).

INFRASTRUCTURE

The proposed amendment to Planned Development District 46 (PD-46) will not require any additional infrastructure improvements to the subject property.

CONFORMANCE TO THE CITY'S CODES

The proposed amendment to Planned Development District 46 (PD-46) does not change the subject property's conformance with the Unified Development Code (UDC), Engineering Standards of Design and Construction, or the Municipal Code of Ordinances.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *Technology District* and is designated for *Commercial/Retail* land uses on the Future Land Use Plan. Since the applicant's request does not change the land use designation on the Future Land Use Plan, this request would not change the properties conformity with regards to the land use plan contained in the OURHometown Vision 2040 Comprehensive Plan; however, the land use not being permitted within the Commercial (C) District would increase the non-conformity of the Planned Development District with regard to the goals and policies contained in the OURHometown Vision 2040 Comprehensive Plan. Based on this the proposed zoning change is considered to be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On June 30, 2021, staff mailed 70 notices to property owners and occupants within 500-feet of the subject property. Staff also sent notices to the Timber Creek and Lofland Farms Homeowner's Associations (HOAs), which were the only Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any responses concerning the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request to amend Planned Development District 46 (PD-46), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained in the Planned Development District ordinance; and,
- (2) Any construction resulting from the approval of this *Zoning Change* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On July 13, 2021 the Planning and Zoning Commission approved a motion to recommend approval of the applicant's request to amend Planned Development District 46 (PD-46) by a vote of 6-0, with Commissioner Deckard absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-024

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Springer Rd.
 SUBDIVISION Sharp Addition LOT 5 BLOCK A
 GENERAL LOCATION South side of Springer Rd, East of Corporate Crossing

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD 46 CURRENT USE Vacant
 PROPOSED ZONING Amended PD 46 PROPOSED USE Office Warehouse
 ACREAGE 1.9 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER <u>KRIS SHARP</u>	<input checked="" type="checkbox"/> APPLICANT <u>Merchawon Architects</u>
CONTACT PERSON <u>Greg Wallis</u>	CONTACT PERSON <u>Greg Wallis</u>
ADDRESS <u>2578 Hwy 276</u>	ADDRESS <u>1520 E. I-30</u>
CITY, STATE & ZIP <u>Rockwall, TX 75082</u>	CITY, STATE & ZIP <u>Rockwall, TX 75082</u>
PHONE <u>214-392-0689</u>	PHONE <u>817-235-9853</u>
E-MAIL <u>krissharp@sharpinsulation.com</u>	E-MAIL <u>merchawonarch@gmail.com</u>

NOTARY VERIFICATION [REQUIRED]

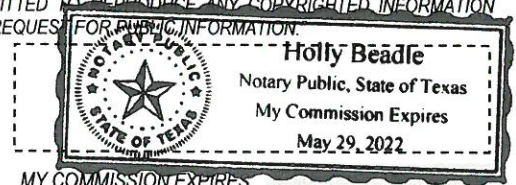
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kris Sharp [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 228.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF June, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF June, 2021.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2021-024- AMENDMENT TO PD-46
 ZONING - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

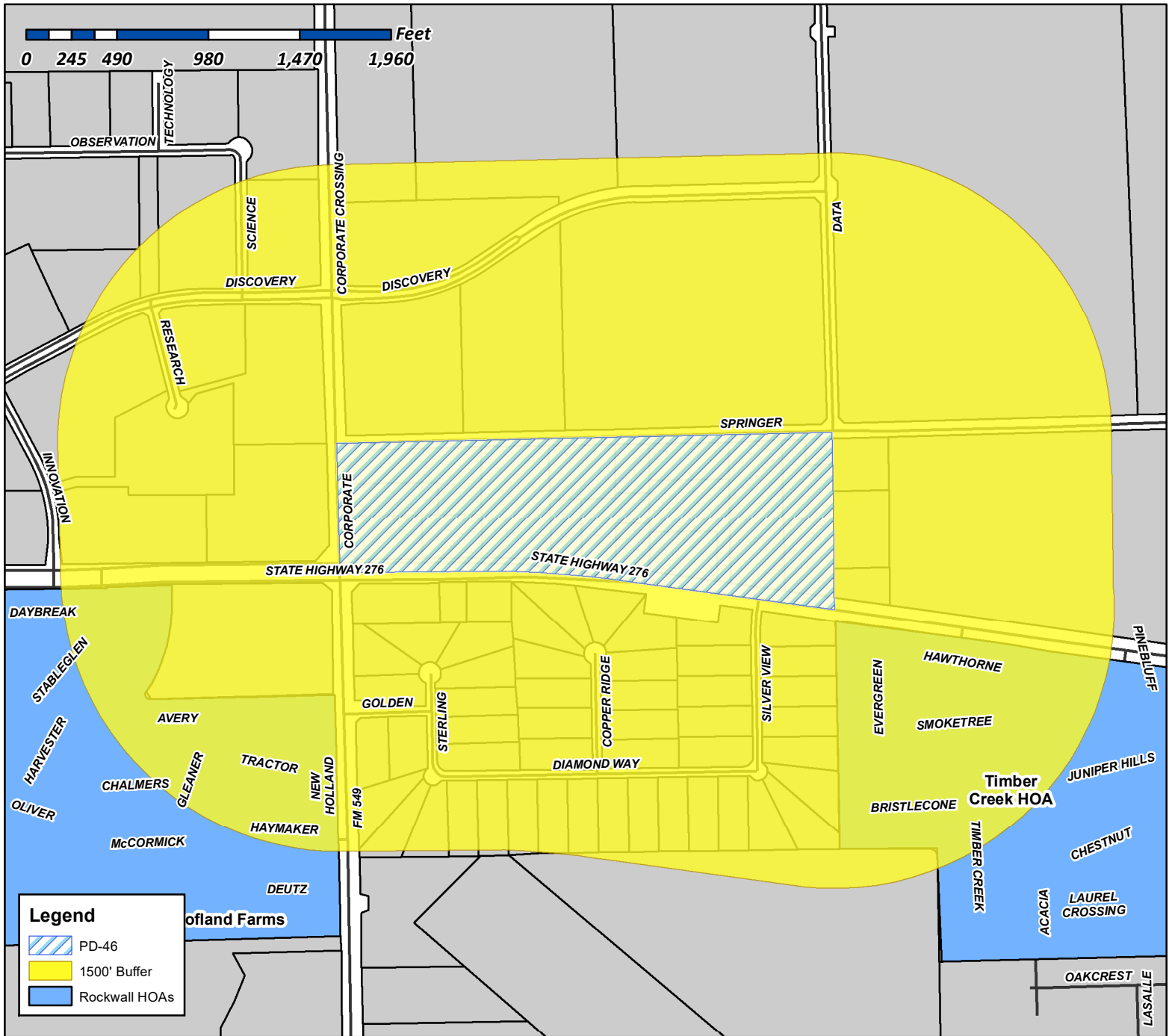




City of Rockwall

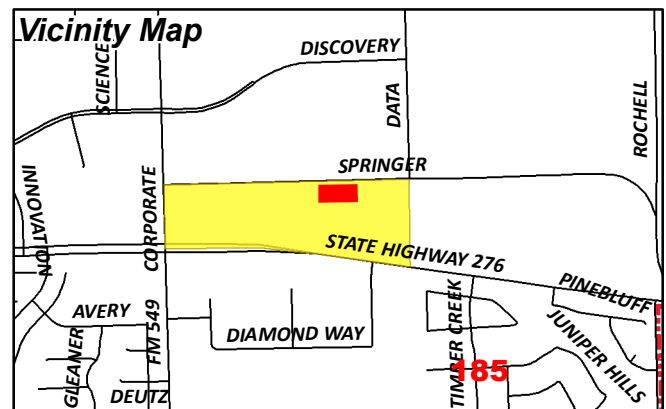
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Case Number: Z2021-024
Case Name: Amendment to PD-46
Case Type: Zoning
Zoning: Planned Development District 46 (PD-46)
Case Address: South of Springer Road & East of Corporate Crossing

Date Created: 6/23/2021
For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Monday, June 28, 2021 4:55 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-024]
Attachments: Public Notice (06.28.2021).pdf; HOA Map Z2021-024.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *June 25, 2021*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, July 13, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, July 19, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-024 Zoning Change amending Planned Development District 46

Hold a public hearing to discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Kris Sharp for the approval of a *Zoning Change* amending Planned Development District 46 (PD-46) to allow *Warehouse* as a permitted land use on a 1.90-acre parcel of land identified as Lot 5, Block A, Sharp Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, addressed as 3301 Springer Road, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

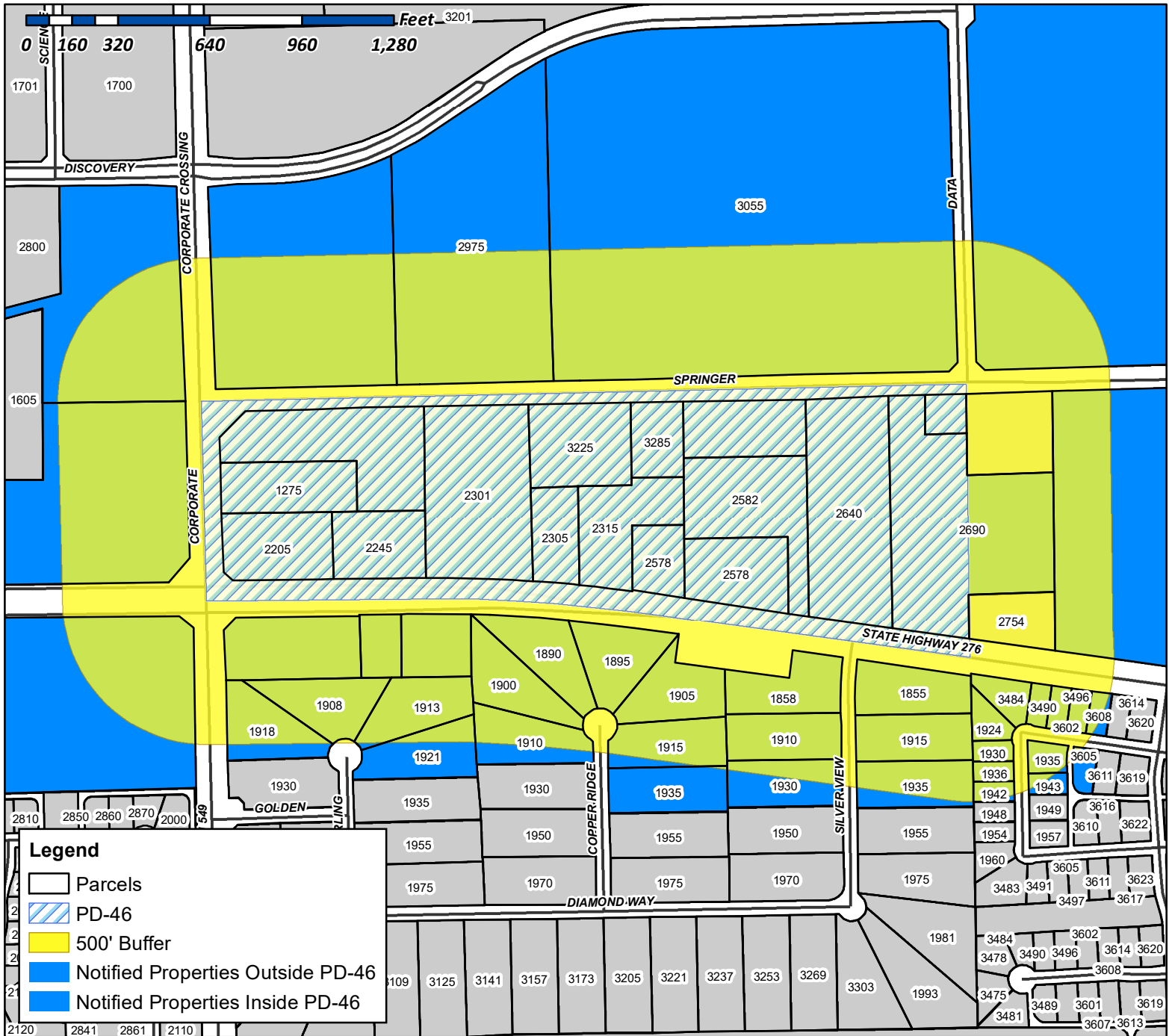
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City of Rockwall

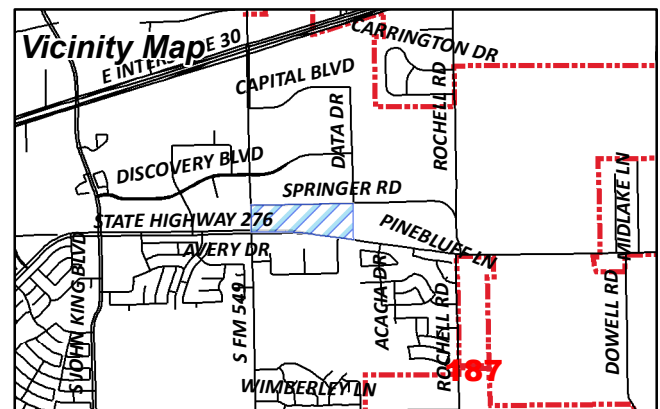
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2021-024
Case Name: Amendment to PD-46
Case Type: Zoning
Zoning: Planned Development District 46 (PD-46)
Case Address: South of Springer Road and East of Corporate Crossing

Date Created: 6/23/2021
For Questions on this Case Call (972) 771-7745



CONNOLLY SQUARED LLC
1122 N FLORENCE ST
BURBANK, CA 91505

KELLER JACQUELYN
1275 CORPORATE CROSSING
ROCKWALL, TX 75032

NBN COMMERCIAL GROUP LLC
2040 N BELT LINE RD STE 400
MESQUITE, TX 75150

ALMO INVESTMENT II LTD
2205 HWY 276
ROCKWALL, TX 75032

PRBS PROPERTIES LLC
2245 HWY276
ROCKWALL, TX 75032

PRISM LEASING LTD
A TEXAS LIMITED PTNRSHIP
2301 HWY276
ROCKWALL, TX 75032

CONNOLLY SQUARED LLC
2305 HWY276
ROCKWALL, TX 75032

TOMMY'S MOBILE BOAT & MOTOR SERVICE, INC
2315 STATE HIGHWAY 276
ROCKWALL, TX 75032

SHARP RICK
2578 HWY276
ROCKWALL, TX 75032

ROCKHEAD HOLDINGS LLC
2578 STATE HIGHWAY 276
ROCKWALL, TX 75032

AGREE LIMITED PARTNERSHIP
2582 HWY276RD
ROCKWALL, TX 75032

LATTIMORE MATERIALS COMPANY LP
2640 HWY276
ROCKWALL, TX 75032

COLIN-G PROPERTIES INC
2690 HWY276
ROCKWALL, TX 75032

SHARP RICK
2740 STATE HWY 276 SUITE 100
ROCKWALL, TX 75032

SHARP RICK
2740 STATE HWY 276 SUITE 100
ROCKWALL, TX 75032

5 SHARP REAL ESTATE LLC
3021 RIDGE RD #159
ROCKWALL, TX 75032

PRBS PROPERTIES LLC
3216 HUNTER LANE
PLANO, TX 75093

NBN COMMERCIAL GROUP LLC
3225 SPRINGERLN
ROCKWALL, TX 75032

5 SHARP REAL ESTATE LLC
3285 SPRINGERRD
ROCKWALL, TX 75032

PRISM LEASING LTD
A TEXAS LIMITED PTNRSHIP
625 SUNSET HILL DR
ROCKWALL, TX 75087

AGREE LIMITED PARTNERSHIP
70 EAST LONG LAKE
BLOOMFIELD HILLS, MI 48304

KELLER JACQUELYN
8522 GARLAND RD
DALLAS, TX 75218

BLACKLAND WATER CORP
ATTN ADA JO PHILLIPS
PO BOX 215
FATE, TX 75132

LATTIMORE MATERIALS COMPANY LP
PO BOX 2469
ADDISON, TX 75001

ALMO INVESTMENT II LTD
PO BOX 2599
WAXAHACHIE, TX 75168

MAK SPOT REAL ESTATE LLC
PO BOX 496585
GARLAND, TX 75049

COLIN-G PROPERTIES INC
PO BOX 847
ROCKWALL, TX 75087



City of Rockwall
2021
Planning and Zoning Department
Ryan Miller
Re: Sharp Office/Warehouse

June 18, 2021,

LETTER OF ZONING AMMENDMENT

We respectfully request an amendment to the current PD 46 zoning to allow an Office/Warehouse building. This use is not included in the PD 46 zoning; however the use is typical for this area.

ORDINANCE NO. 99-05

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AS HERETOFORE AMENDED SO AS TO CHANGE THE ZONING ON A TRACT OF LAND WHICH IS MORE FULLY DESCRIBED HEREIN FROM "A" AGRICULTURAL CLASSIFICATION TO PLANNED DEVELOPMENT ZONING "PD- 46 PLANNED DEVELOPMENT NUMBER 46; CORRECTING THE OFFICIAL ZONING MAP; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a change in the classification of a zoning district has been initiated by the City of Rockwall for the property more specifically described in Exhibit "A" attached hereto; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the state of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be and the same is hereby amended by amending the zoning map of the City of Rockwall so as to give "Planned Development District No.46 classification to the tract of land described in Exhibits "A" and "B" attached hereto and made part of.

SECTION 2. That the property described in Exhibit "A" shall be used only in the manner and for the purposes provided for in Exhibit "B" and the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future. The granting of this zoning classification for the property as described in Exhibit "A" is subject to the following special conditions:

- A. The use of the property shall be regulated by the following requirements:
1. The uses, area requirements and development standards of the Commercial zoning category of the Comprehensive Zoning ordinance as currently adopted, or as revised in the future, and Exhibit "B" except as otherwise provided for in this ordinance.

- B. Those tracts with existing buildings will be allowed to use the same exterior materials currently shown in Exhibit "B" for any new buildings that are built. However, if an existing building is expanded to an amount that equals 50% of the appraised tax value of that building, the requirements of the commercial zoning district exterior materials shall be met.

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

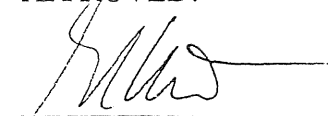
SECTION 5. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed to the extent of that conflict.

SECTION 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such case provides.

DULY PASSED AND APPROVED this 1st day of March, 1999.

APPROVED:



Mayor
George R. Hatfield

ATTEST:

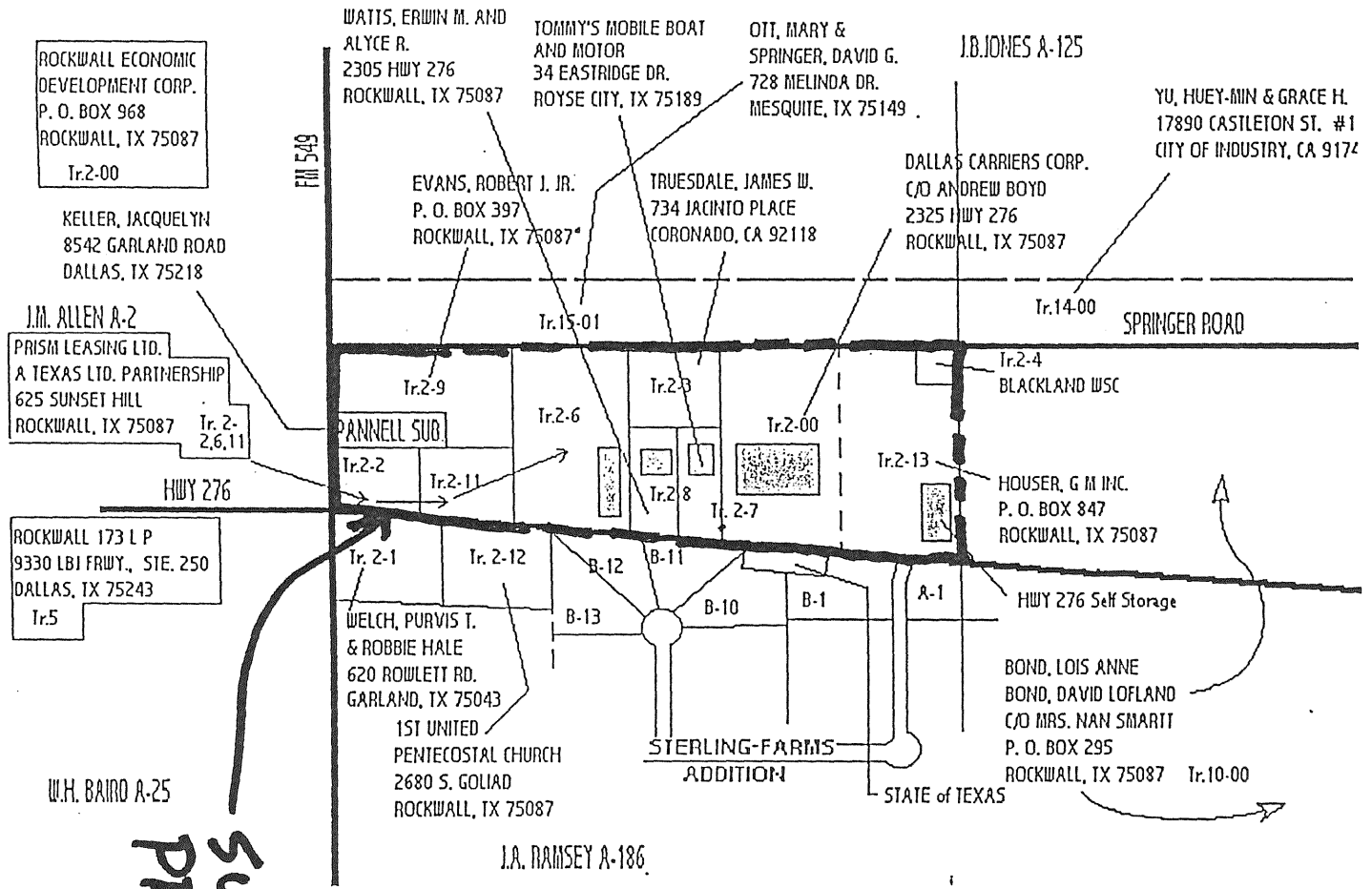
BY Cindy Kindred
Cindy Kindred, City Secretary

1st reading 2/15/99

2nd reading 3/1/99



EXHIBIT "A"



SUBJECT PROPERTY

98-87

J. A Ramsey A-186

Track 2, Lot 00 - 10.001 Acres

Ownership: **Continental Express**
(As of Jan. 1, 1999)
2325 Hwy 276
Rockwall, Texas 75087

Property Use: **Trucking/Freight**
Carrier Company

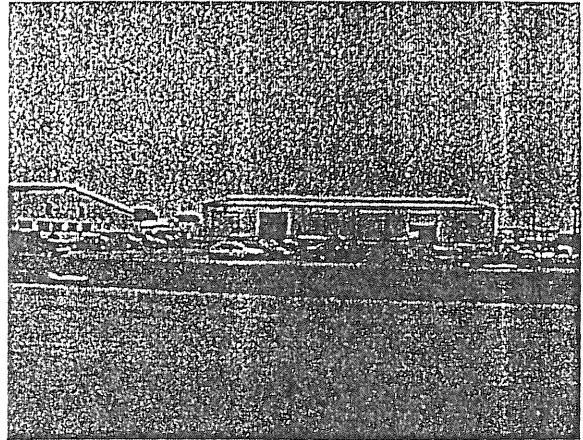
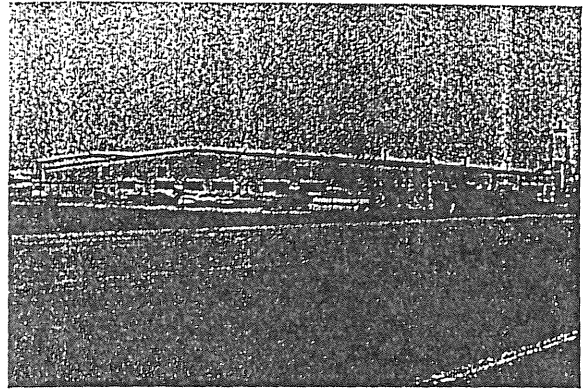
- Outside Storage of Trucks and Trailers
- Limited Outside Storage of Pallets
- Metal Buildings

Proposed Zoning

Commercial

***Permitted uses** - those uses in the permitted use section of the zoning ordinance and trucking operation and associated uses.

***Conditional uses** - those uses in the conditional use section of the zoning ordinance.



Track 2, Lot 2 - 2.00 Acs.

Ownership: **Prism Leasing Ltd.**
A Texas Limited Partnership
625 Sunset Hill
Rockwall, Texas 75087

Property Use: **Rockwall Tire & Battery**
Proprietor: **Roland Cobb**

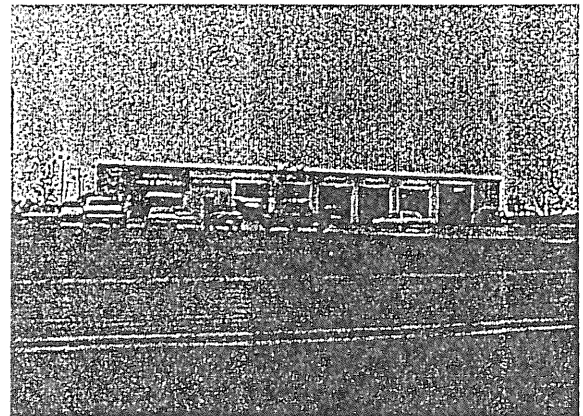
- Minor Auto Repair
- Limited Outside Storage
- Metal Building

Proposed Zoning

Commercial

***Permitted uses** - those uses in the permitted use section of the zoning ordinance and minor auto repair and associated uses

***Conditional uses** - those uses in the conditional use section of the zoning ordinance.



Track 2, Lot 3 - 2.5 Acs.

Ownership: James W. Truesdale

734 Jacinto Place

Coronado, Calif. 92118

Property Use: Existing Vacant Building

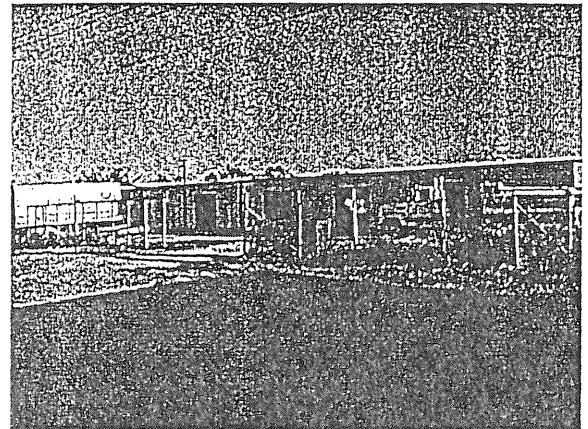
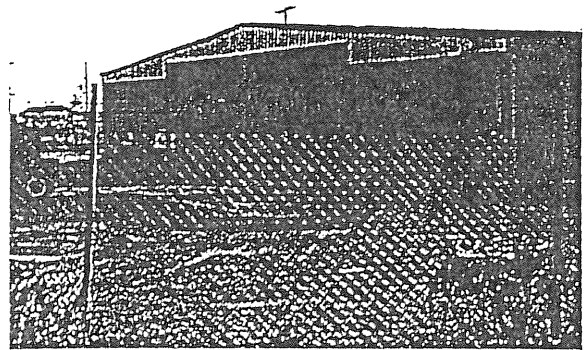
- Possibly a Contractor's Yard
- Outside Storage of Equipment
- Metal Building

Proposed Zoning

Commercial

*Permitted uses - those uses in the permitted use section of the zoning ordinance and contractor yard and equipment yard.

*Conditional uses - those uses in the conditional use section of the zoning ordinance.



Track 2, Lot 4 - 0.436 Acs.

Ownership: Blackland WSC

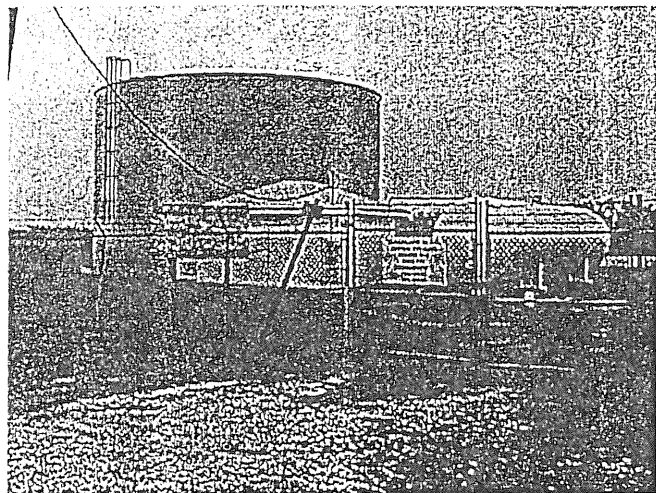
Property Use: Water Station

Proposed Zoning

Commercial

*Permitted uses - those uses in the permitted use section of the zoning ordinance.

*Conditional uses - those uses in the conditional use section of the zoning ordinance.

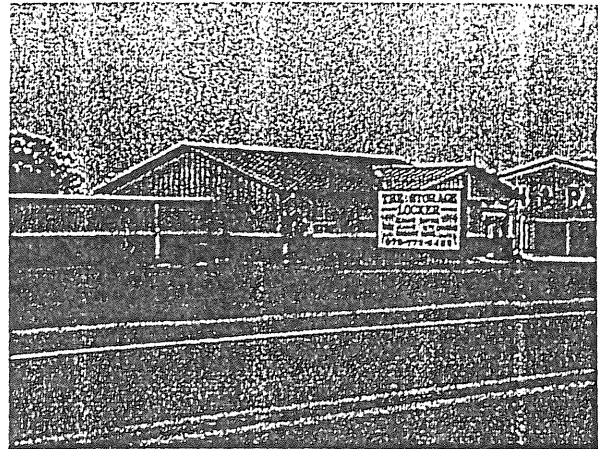


Track 2, Lot 6 - 5.00 Acs.

Ownership: Prism Leasing Ltd.
A Texas Limited
Partnership
625 Sunset Hill
Rockwall, Texas 75087

Property Use: Self Storage Facility

- No Outside Storage
- Metal Building with Some Brick Accents
along SH 276

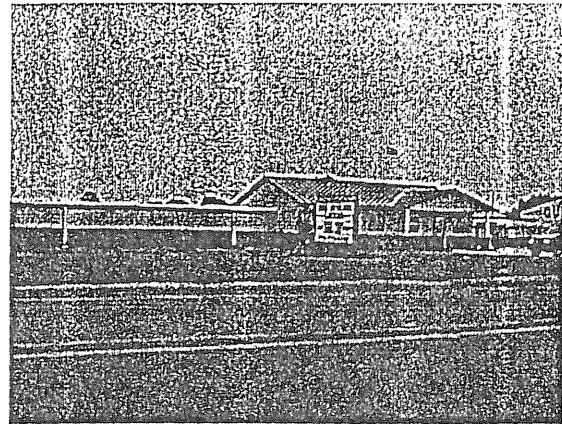


Proposed Zoning

Commercial

*Permitted uses - those uses in the permitted use section of the zoning ordinance and mini-warehouses with no overhead doors facing the street.

*Conditional uses - those uses in the conditional use section of the zoning ordinance.

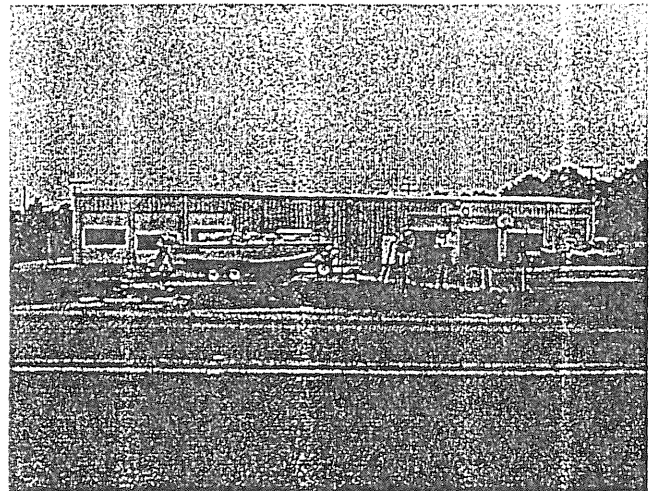


Track 2, Lot 7 - 1.5 Acs.

Ownership: Tommy's Mobile Boat
and Motor
34 Eastridge Drive
Royse City, Texas 75189

Property Use: Boat Motor Repair
Facility

- Limited Outside Storage of Boats
- Metal Building
- Outside Display for Boat Sales



Proposed Zoning

Commercial

*Permitted uses - those uses in the permitted use section of the zoning ordinance and boat repair with accessory sales.

*Conditional uses -. those uses in the conditional use section of the zoning ordinance.

Track 2, Lot 8 - 1 Ac.

Ownership: Erwin M. and
Alyce R. Watts
2305 Hwy 276
Rockwall, Texas 75087

Property Use: Watt's Gun and Pawn

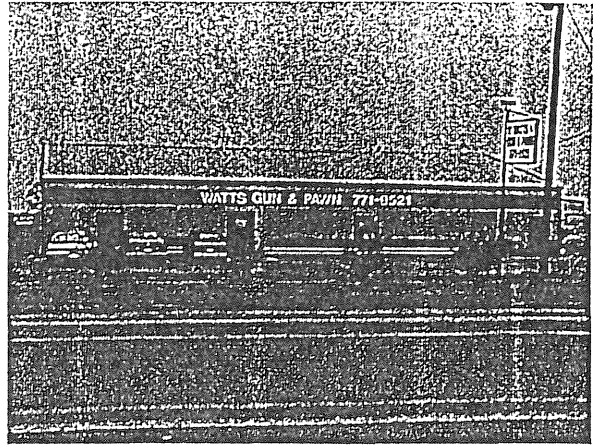
- No Outside Storage
- Tilt Wall Construction
- On-Site Security Live-In

Proposed Zoning

Commercial

*Permitted uses - those uses in the permitted use section of the zoning ordinance and pawn shop with On-Site Security Live-In

*Conditional uses - those uses in the conditional use section of the zoning ordinance.



Track 2, Lot 9 - 3.07 Acs.

Ownership: Robert J. Evans, Jr.
P. O. Box 397
Rockwall, Texas 75087

Property Use: Vacant

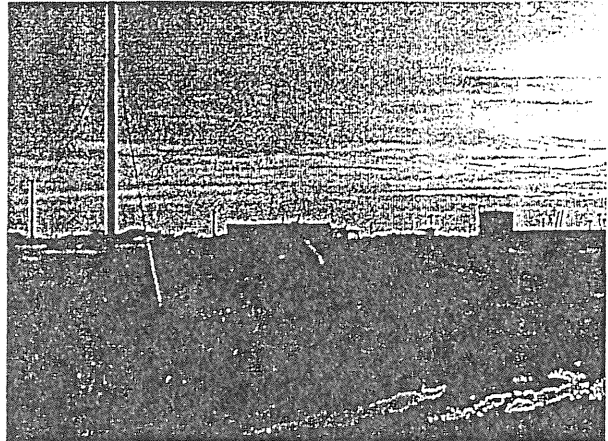
- Dirt Stockpiles
- Concrete Stockpiles
- Assortment of Junk and Refuse

Proposed Zoning

Commercial

*Permitted uses - those uses in the permitted use section of the zoning ordinance.

*Conditional uses - those uses in the conditional use section of the zoning ordinance.



Track 2, Lot 11 - 2.00 Acs.

Ownership: Prism Leasing Limited
A Texas Limited Partnership
625 Sunset Hill
Rockwall, Texas 75087

Property Use: Vacant

Proposed Zoning

Commercial

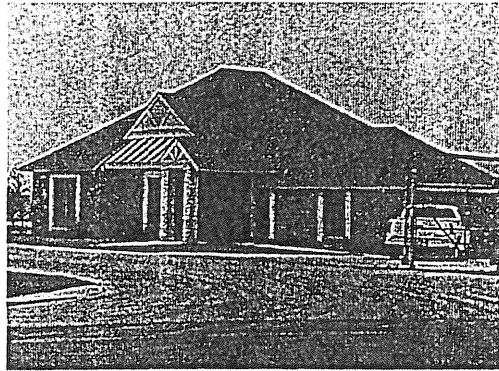
*Permitted uses - those uses in the permitted use section of the zoning ordinance.

*Conditional uses - those uses in the conditional use section of the zoning ordinance.

Track 2, Lot 13 - 10.003 Acs.

Ownership: Houser, G.M Inc.
P. O. Box 847
Rockwall, Texas 75087
Property Use: Concrete-Ready Mixed
Company/Self Storage

- Brick Office Building
- Metal Self-Storage Buildings
- Metal Shop Buildings
- Concrete Batch Plant

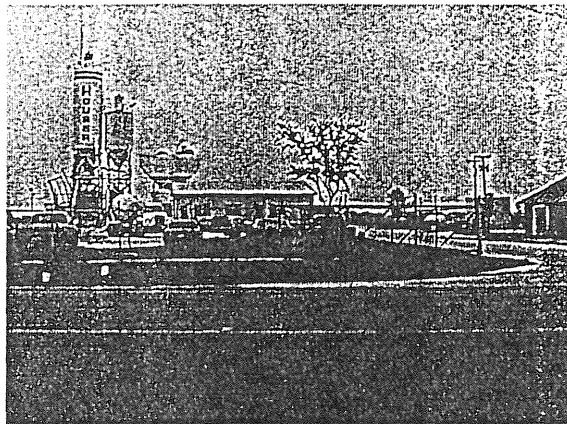


Proposed Zoning

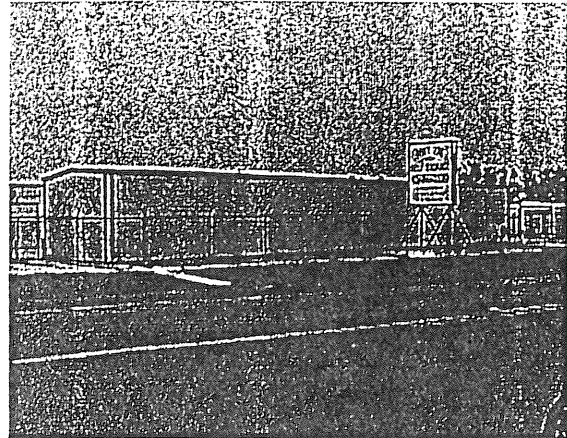
Commercial

*Permitted uses - those uses in the permitted use section of the zoning ordinance and concrete batch plants, associated uses, and mini-warehouses with no overhead doors facing the street.

*Conditional uses - those uses in the conditional use section of the zoning ordinance.



Track 2, Lot 13 - Houser, G. M.
(continued)

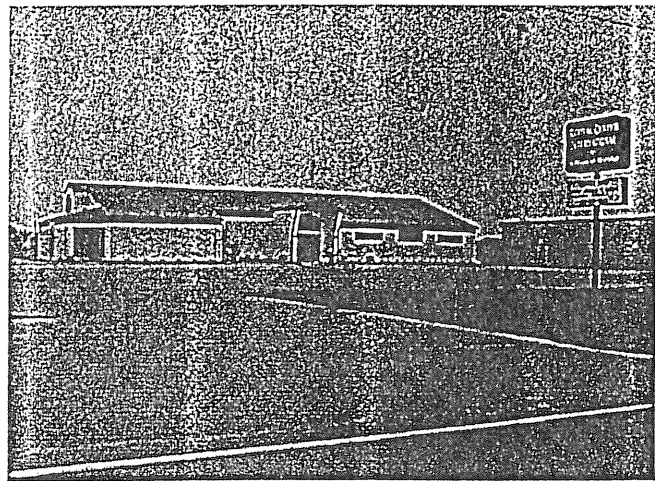


Pannell Subdivision 2.00 Acs.

Ownership: Jacquelyn Keller
8542 Garland Road
Dallas, Texas 75218

Property Use: Church

- Building with Vinyl Siding



Proposed Zoning

Commercial

*Permitted uses - those uses in the permitted use section of the zoning ordinance.

*Conditional uses - those uses in the conditional use section of the zoning.

Planned Development No. 46

BEING 47.37 acres of land situated in the Abstract 186, J.A. Ramsey Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a point in the south Right of Way of Discovery Blvd, at City Geodetic Control Monument #9. (*NAD83 Texas State Plane GPS Coordinate: 2,607,463.893 E, 7,020,550.132 N feet*) bearing South 73° 10' 43" East, a distance of 2,602.028 feet to the *POINT OF BEGINNING*;

BEGINNING at a point in the intersection of Springer Rd and Data Dr. (*NAD83 Texas State Plane GPS Coordinate: 2,609,967.107 E, 7,019,844.125N feet*);

THENCE South 00° 12' 17" West following the Eastern boundary line of Planned Development #46, a distance of 951.9 feet for a corner;

THENCE North 81° 8' 11" West, a distance of 1,019.177 feet to the beginning of a curve found in the centerline of State Highway 276, said being the beginning of a curve to the left having a tangent of 730.751 feet and a radius of 6,289.035 feet with a chord distance of 730.268 feet and a chord bearing of North 83 degrees 30 minutes 38 seconds West to a point;

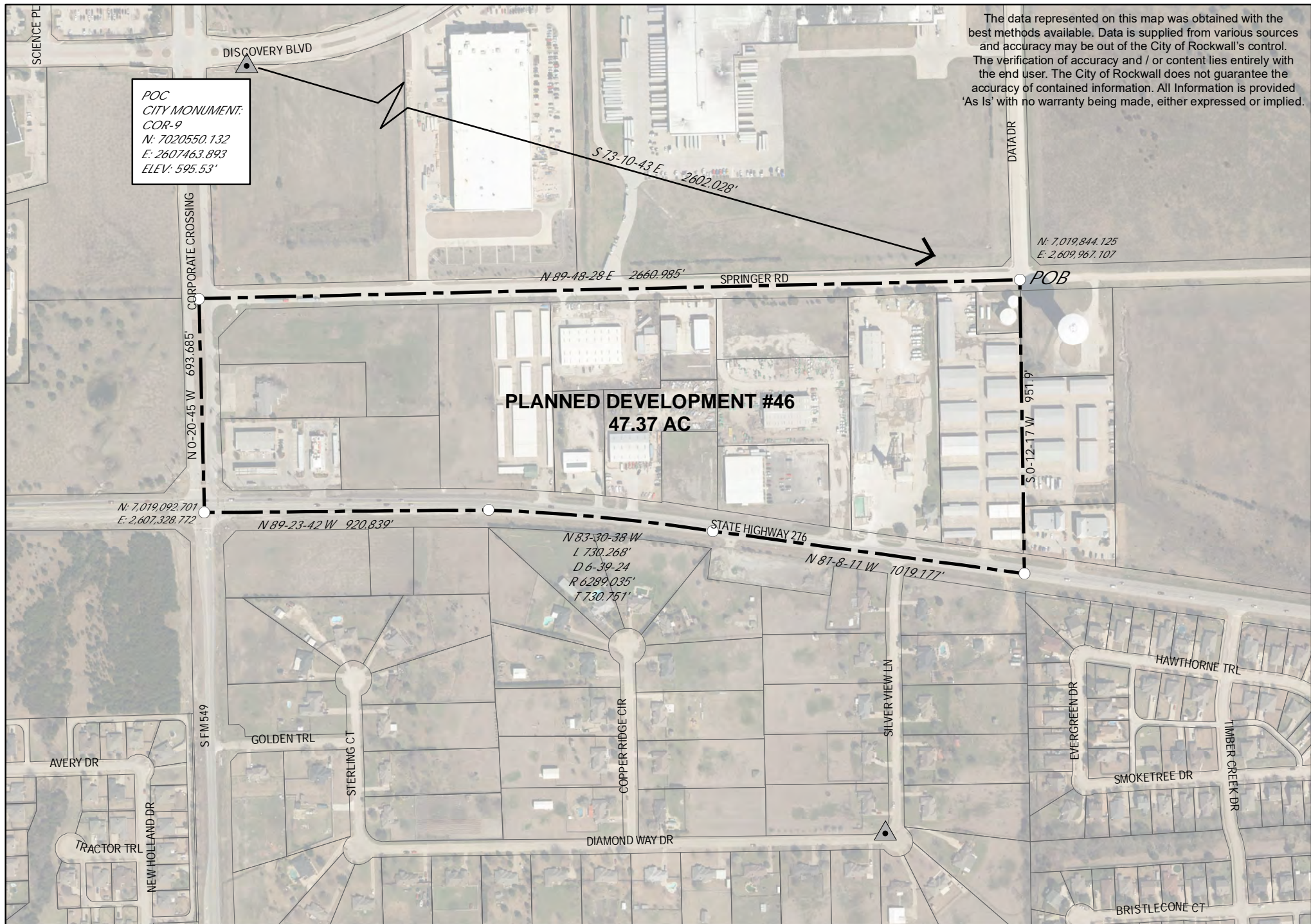
THENCE North 89° 23' 42" West, a distance of 920.839 feet for a corner;

THENCE North 0° 20' 45" West, a distance of 693.685 feet for a corner;

THENCE North 89° 48' 28" East, a distance of 2,660.985 feet, to the *POINT OF BEGINNING AND CONTAINING 47.37 acres of land (2,063,262.886 square feet) more or less.*

The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All information is provided 'As Is' with no warranty being made, either expressed or implied.

POC
CITY MONUMENT:
COR-9
N: 7020550.132
E: 2607463.893
ELEV: 595.53'



City of
Rockwall

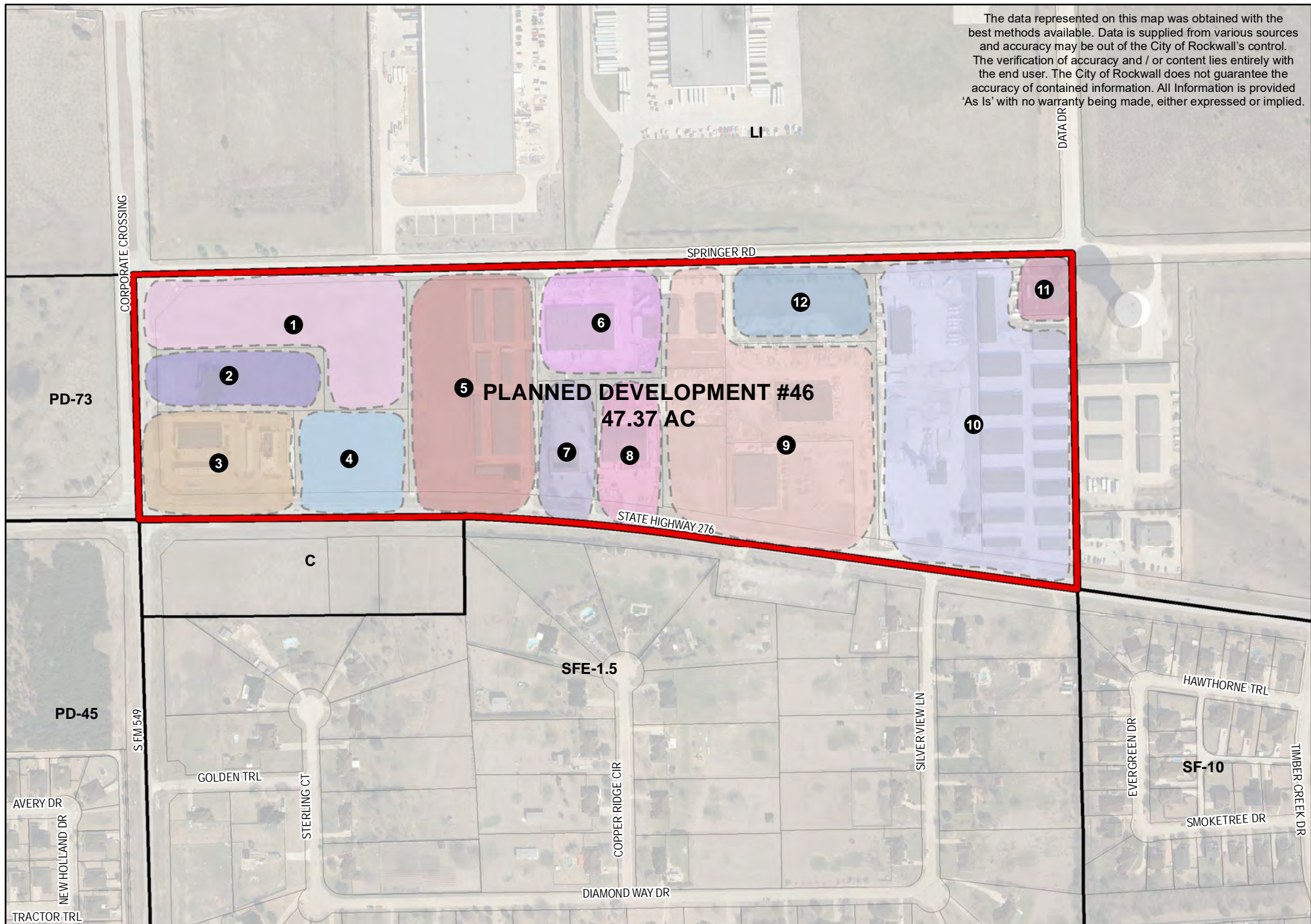


0 250 500 Feet

ROCKWALL GIS
Date: 6/22/2021

PLANNED DEVELOPMENT #46

The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All information is provided 'As Is' with no warranty being made, either expressed or implied.



City of
Rockwall



0 250 500 Feet

ROCKWALL GIS
Date: 6/23/2021

PLANNED DEVELOPMENT #46

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46) [ORDINANCE NO. 99-05] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46), BEING A 47.37-ACRE TRACT OF LAND SITUATED WITHIN THE J. A. RAMSEY SURVEY, ABSTRACT NO. 186, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Greg Wallis of Mershawn Architects on behalf of Kris Sharp for the approval of an amendment Planned Development District 46 (PD-46) [Ordinance No. 99-05] for the purpose of allowing a Warehouse as a permitted land use on a 1.90-acre parcel of land identified as Lot 5, Block A, Sharp Addition being a portion of a larger 47.37-acre Planned Development District that is situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, identified as Planned Development District 46 (PD-46) [Ordinance No. 99-05], which is more fully described and depicted in Exhibit 'A' of this ordinance, and hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 46 (PD-46) [Ordinance No. 99-05] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No 99-05*;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *PD Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [Ordinance No. 04-38], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [Ordinance No. 04-38] of any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [Ordinance No. 04-38] (including references to the Unified Development Code), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF AUGUST, 2021.

Kevin Fowler, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: July 19, 2021

2nd Reading: August 2, 2021

EXHIBIT 'A':
Legal Description and Survey

BEING 47.37 acres of land situated in the Abstract 186, J.A. Ramsey Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a point in the south Right of Way of Discovery Blvd, at City Geodetic Control Monument #9. (NAD83 Texas State Plane GPS Coordinate: 2,607,463.893 E, 7,020,550.132 N feet) bearing South 73° 10' 43" East, a distance of 2,602.028 feet to the **POINT OF BEGINNING**;

BEGINNING at a point in the intersection of Springer Rd and Data Dr. (NAD83 Texas State Plane GPS Coordinate: 2,609,967.107 E, 7,019,844.125N feet);

THENCE South 00° 12' 17" West following the Eastern boundary line of Planned Development #46, a distance of 951.9 feet for a corner;

THENCE North 81° 8' 11" West, a distance of 1,019.177 feet to the beginning of a curve found in the centerline of State Highway 276, said being the beginning of a curve to the left having a tangent of 730.751 feet and a radius of 6,289.035 feet with a chord distance of 730.268 feet and a chord bearing of North 83 degrees 30 minutes 38 seconds West to a point;

THENCE North 89° 23' 42" West, a distance of 920.839 feet for a corner;

THENCE North 0° 20' 45" West, a distance of 693.685 feet for a corner;

THENCE North 89° 48' 28" East, a distance of 2,660.985 feet, to the **POINT OF BEGINNING AND CONTAINING** 47.37 acres of land (2,063,262.886 square feet) more or less.

EXHIBIT 'A':
Legal Description and Survey



EXHIBIT 'B':
Concept Plan

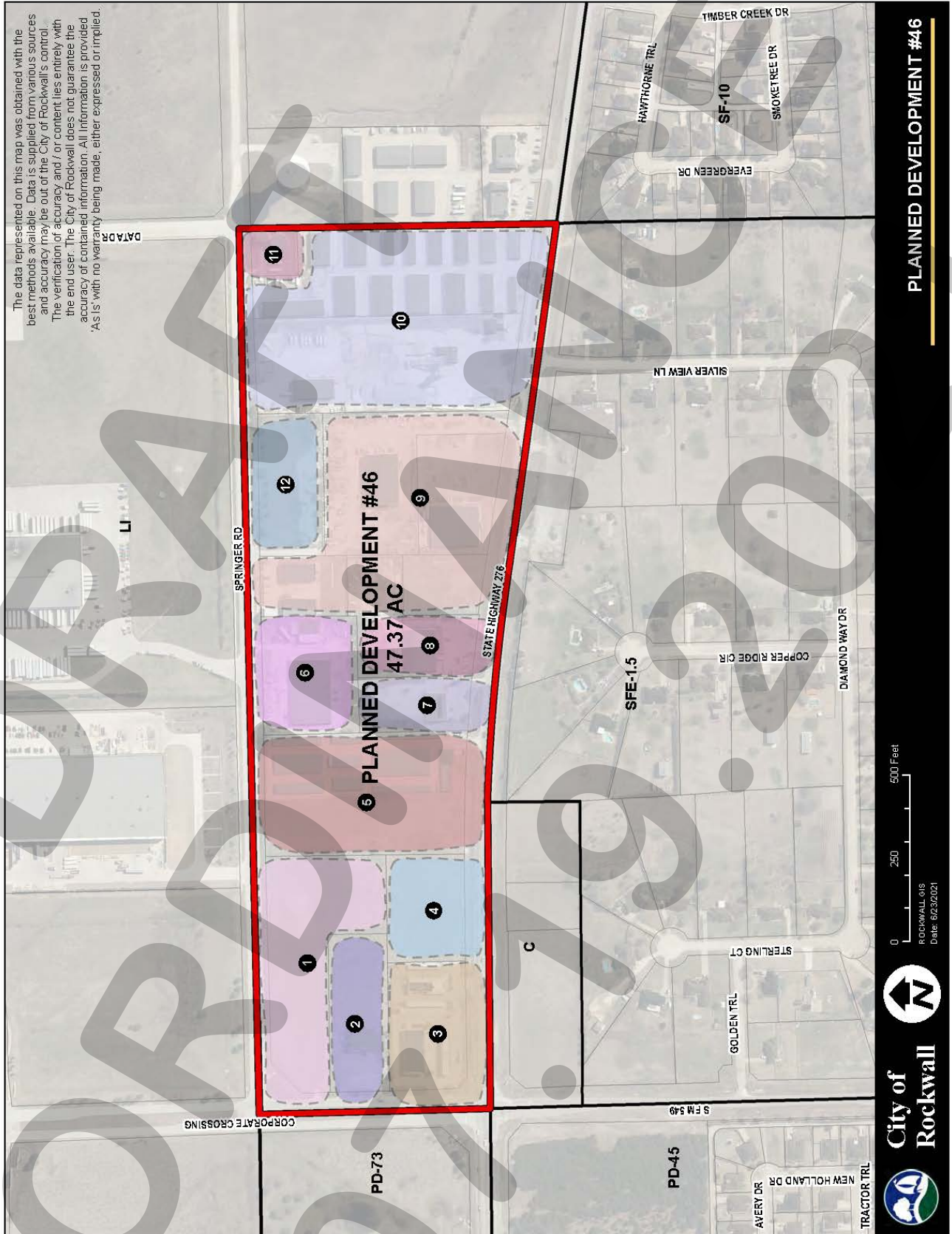


EXHIBIT 'C':
PD Development Standards

- (A) Purpose. The purpose of this amendment to Planned Development District 46 (PD-46) is to supersede *Ordinance No. 99-05*; however, this ordinance does not change the intent, restrictions, or land uses established in *Ordinance No. 99-05* with the exception of adding the *Warehouse* land use to *Tract 12* as depicted in *Exhibit 'B'* of this ordinance.
- (B) Permitted Land Uses. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be subject to the permitted land uses stipulated for properties in a Commercial (C) District as specified in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following land uses shall be permitted *by-right* on the corresponding tract:
- (1) Tract 3 [Tract 2, Lot 02].
 - Minor Automotive Repair Garage
 - (2) Tract 5 [Tract 2, Lot 06].
 - Mini-Warehouse
 - (3) Tract 6 [Tract 2, Lot 03].
 - Heavy Construction/Trade Yard
 - (4) Tract 7 [Tract 2, Lot 08].
 - Pawn Shop
 - (5) Tract 8 [Tract 2, Lot 07].
 - New or Used Boat Dealership
 - (6) Tract 9 [A Portion of Tract 2, Lot 00].
 - Trucking Company
 - (7) Tract 10 [Tract 2, Lot 13].
 - Concrete Batch Plant
 - Mini-Warehouse
 - (8) Tract 12 [A Portion of Tract 2, Lot 00].
 - Warehouse
- (C) Dimensional Requirements. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be subject to the dimensional requirements stipulated for properties in a Commercial (C) District as specified in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (D) Legal Non-Conforming Status. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be allowed to maintain the same exterior building materials that are currently utilized on the existing building for any new buildings that are built; however, if an existing or new building is expanded to an amount that equals 50% of the appraised tax value of that building, the building shall be required to adhere to the requirements of the

EXHIBIT 'C':
PD Development Standards

Commercial (C) District as stipulated in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

DRAFT
ORDINANCE
07.19.2021



MEMORANDUM

TO: Mary Smith, Interim City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: July 19, 2021

SUBJECT: Z2021-025; SPECIFIC USE PERMIT (SUP) FOR A RESIDENTIAL INFILL FOR 154 LYNNE DRIVE

Attachments

Case Memo
Development Application
Location Map
HOA Notification Map
Property Owner Notification Map
Property Owner Notification List
Public Notice
Property Owner Notifications
Survey
Residential Plot Plan
Building Elevations
Floor Plan
Roof Plan
Housing Analysis
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by Kevin Osornio for the approval of an ordinance for a *Specific Use Permit (SUP)* allowing *Residential Infill in an Established Subdivision* on a 0.1650-acre parcel of land identified as Lot 908A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 154 Lynne Drive, and take any action necessary (1st Reading).

Action Needed

The City Council is being asked to approve, approve with condition, or deny the *Specific Use Permit*.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: July 19, 2021
APPLICANT: Kevin Osornio
CASE NUMBER: Z2021-025; *Specific Use Permit (SUP) for a Residential Infill for 154 Lynne Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Kevin Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 908A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 154 Lynne Drive, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lot 908A of the Rockwall Lake Properties Development #2 Addition, which was filed with Rockwall County on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 154 Lynne Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses.

South: Directly south of the subject property are three (3) parcels of land (144, 136, & 124 Lynne Drive) developed with modular homes. Beyond this is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several parcels of land zoned Commercial (C) District.

East: Directly east of the subject property is Lynne Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this are two (2) rows of single-family and modular homes zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) land uses. Beyond this is Chris Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a row of single-family and modular homes zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) land uses. Beyond this is Blanche Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) rows of single-family and modular homes zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) land uses.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the Lake Rockwall Estates East Subdivision. This subdivision has been in existence for more than ten (10) years, consists of more than five (5) lots, and is more than 90% of the developable lots are developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Lynne Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Lynne Drive and the Subject Property	Proposed Housing
Building Height	One (1) Story & Two (2) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face west towards Lynne Drive.
Year Built	1974-2019	N/A
Building SF on Property	728 SF – 2,542 SF	1,844 SF
Building Architecture	Single-Family and Modular Homes	Comparable Architecture to the Surrounding Newer Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks are 20-35-Feet	25-Feet
Side	The side yard setbacks are 0-33-Feet	6-Feet & 24-Feet
Rear	The rear yard setbacks are 10-38-Feet	30-Feet, 4.5-Inches
Building Materials	Brick, Metal, & Vinyl Siding	Brick
Paint and Color	Brown, Tan, Blue, White, Red, & Yellow	N/A
Roofs	Composite Shingles & Metal	Composite Shingle
Driveways/Garages	Flat-Front Entry, J-Swing, Carports, and Homes without Garages	The garage will be oriented in front of the front façade of the home.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to put the garage 14-feet, 6.5-inches in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Lake Rockwall Estates Subdivision in the past.

With the exception of the garage setback requirement, the proposed single-family home meets all of the density and dimensional requirements for the Single-Family 7 (SF-7) District as stipulated by Planned Development District 75 (PD-75) and the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family

housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Lynne Drive. The proposed building elevations have also been provided in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On June 29, 2021, staff mailed 130 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On July 13, 2021, the Planning and Zoning Commission approved a motion to approve the Specific Use Permit (SUP) with the conditions of approval by a vote of 6-0, with Commissioner Deckard absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021025

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 154 Lynne Dr Rockwall TX 75032
 SUBDIVISION Rockwall Lake LOT 908-A BLOCK
 GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	CURRENT USE	
PROPOSED ZONING	PROPOSED USE	
ACREAGE	LOTS [CURRENT]	LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Kevin Osornio APPLICANT

CONTACT PERSON Kevin Osornio CONTACT PERSON

ADDRESS 220 Crawford Ln ADDRESS

CITY, STATE & ZIP Rockwall City TX 75089 CITY, STATE & ZIP

PHONE 214-957-7984 PHONE

E-MAIL h.enterprise7@yahoo.com E-MAIL

NOTARY VERIFICATION [REQUIRED]

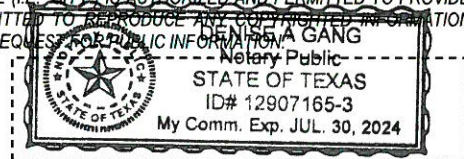
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kevin Osornio [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF June, 2021 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

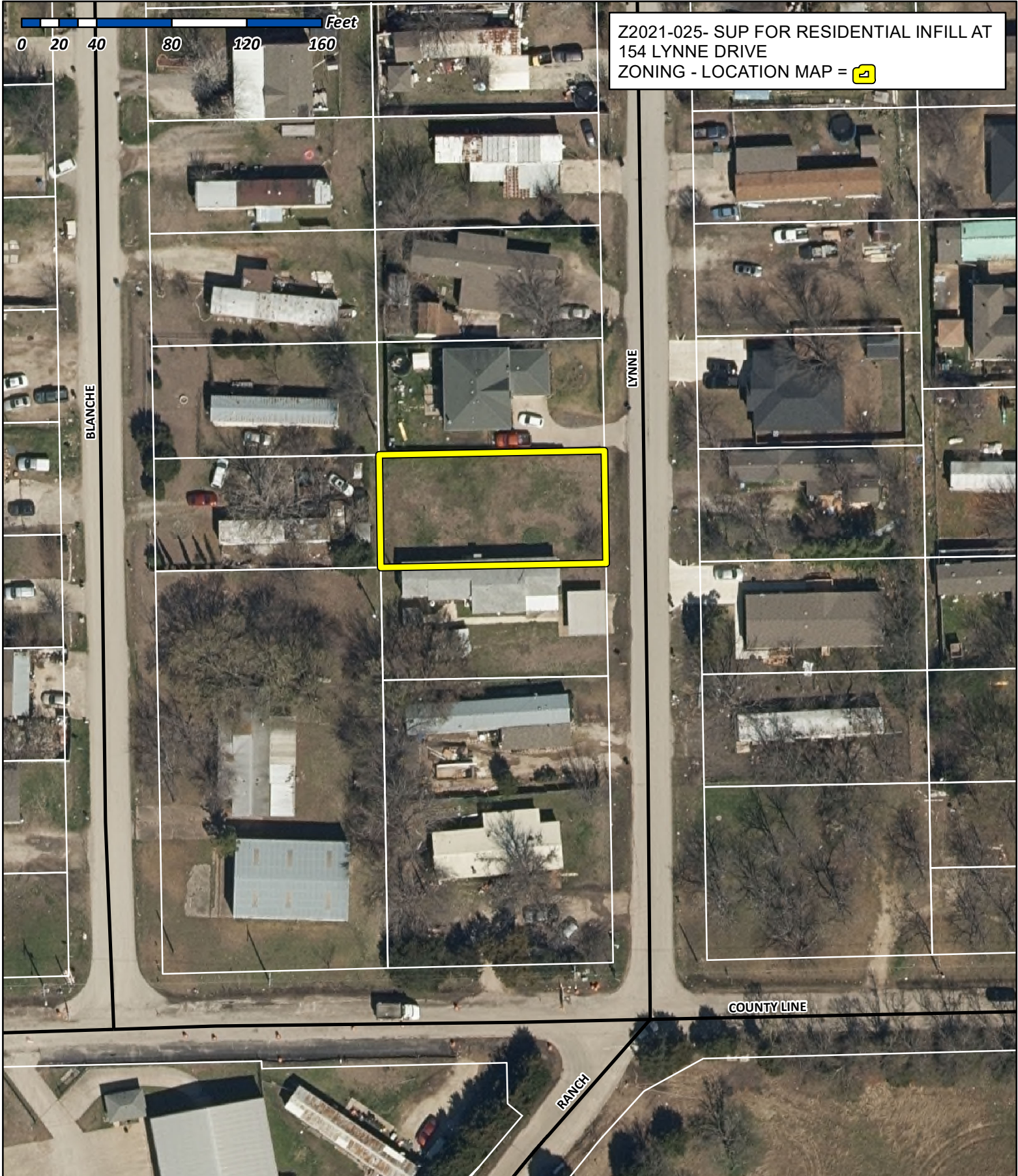
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF June, 2021.

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES July 30, 2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

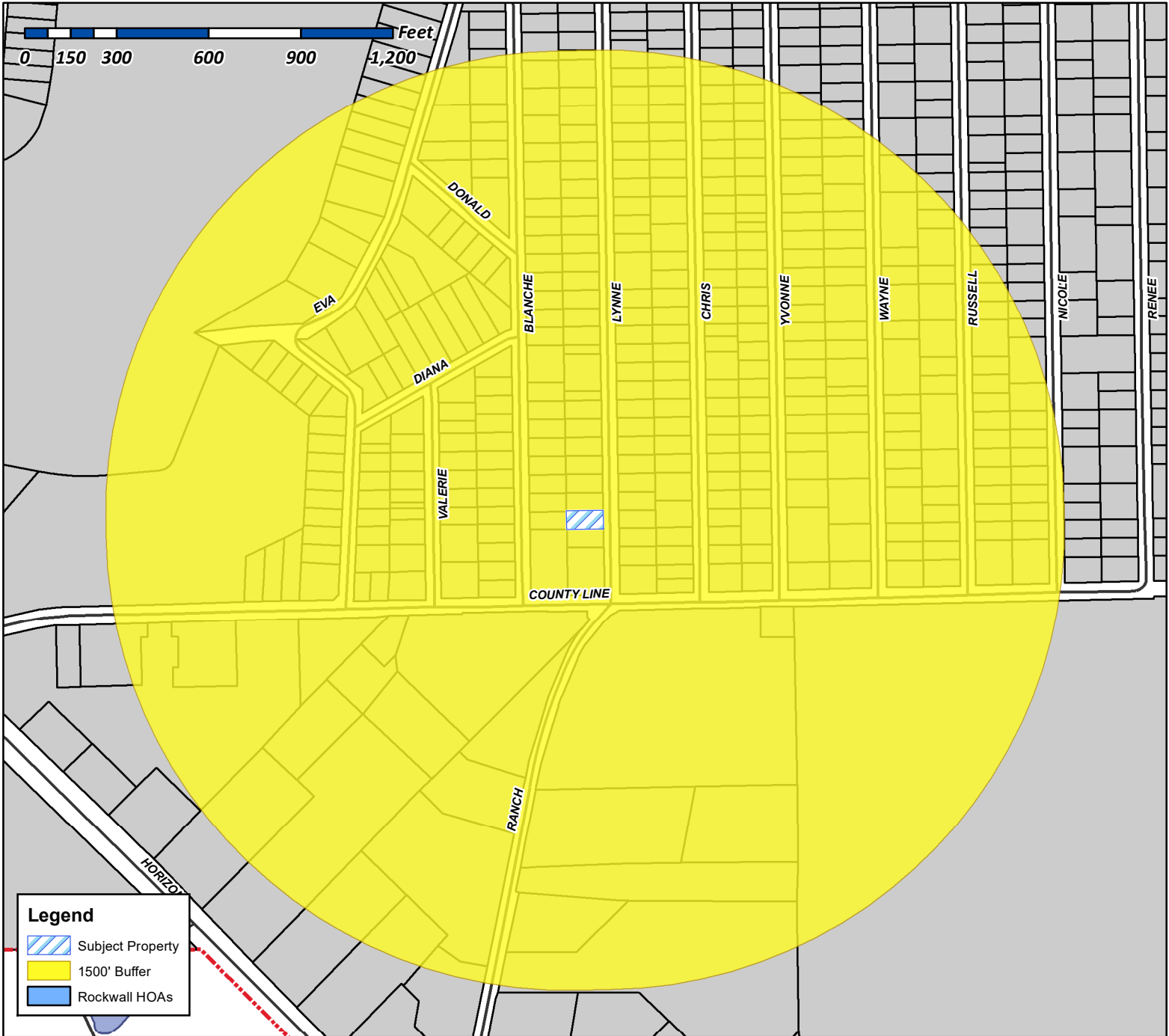




City of Rockwall

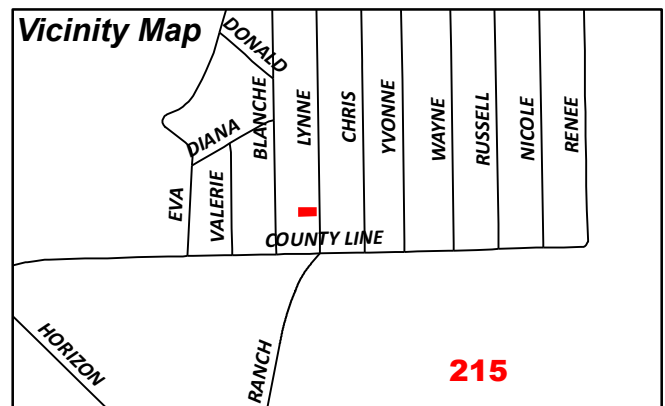
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2021-025
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 154 Lynne Drive

Date Created: 6/19/2021
 For Questions on this Case Call (972) 771-7745





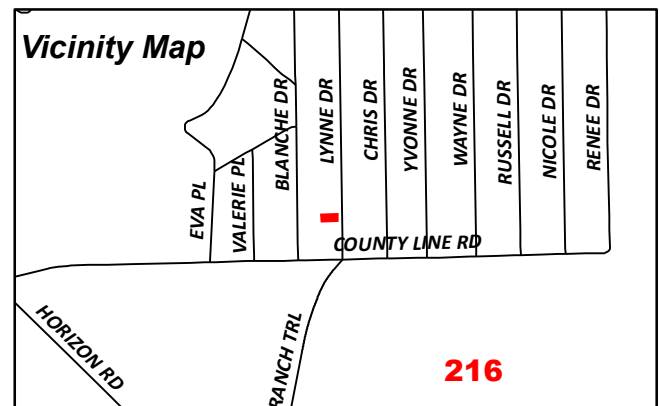
City of Rockwall

Planning & Zoning Department
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Date Created: 6/19/2021
 For Questions on this Case Call (972) 771-7745

SALAS HECTOR JABIER & CAROLINA ORTIZ
1000 W YELLOWJACKET LANE APT 2507
ROCKWALL, TX 75087

VARGAS RICARDO
109 BLANCHE DR
ROCKWALL, TX 75032

SALAS ALBERTO R & ADELA A
109 VALERIE PL
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
112 CHRIS DR
ROCKWALL, TX 75032

PEREZ GILBERTO AND
JUANITA PEREZ
112 LYNNE DR
ROCKWALL, TX 75032

CANIZALES ELIDA VILLAREAL
115 CHRIS DR
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE
118 BLANCHE DR
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
120 BLANCHE DR
ROCKWALL, TX 75032

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

ARCHIBALD L D & CARLA R REVOCABLE
LIVING TRUST
121 LYNNE DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
124 CHRIS DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
124 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ RICARDO
124 YVONNE DR
ROCKWALL, TX 75032

RANGEL ADELA
125 CHRIS DR
ROCKWALL, TX 75032

ESPARZA JUANA
12622 SE 27TH AVE
PORTLAND, OR 97222

LICEA JOSE DELFINO
130 CHRIS DR
ROCKWALL, TX 75032

LICEA JOSE DELFINO
131 LYNNE DR
ROCKWALL, TX 75032

FLORES DAYANARA &
JAMES GLEASON
132 BLANCHE DR
ROCKWALL, TX 75032

PAVON MARISOL
132 VALERIE PL
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT
134 YVONNE DR
ROCKWALL, TX 75032

HILTON THOMAS
135 CHRIS DRIVE
ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR
137 VALERIE PL
ROCKWALL, TX 75032

SANCHEZ ROSA &
ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

LOC PHU AND VINCENT TONG
1414 BUFFALO WOODS CT
KATY, TX 77494

LICEA JOSE DELFINO
143 LYNNE DR
ROCKWALL, TX 75032

GARCIA MARTIN
144 BLANCHE DR
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
144 LYNNE DR
ROCKWALL, TX 75032

BETETA RUTH E
1452 GREENBROOK DR
ROCKWALL, TX 75032

ALMARAZ JUAN V DIAZ
147 CHRIS LANE
ROCKWALL, TX 75032

VALDEZ MARY ESTHER
148 VALERIE PL
ROCKWALL, TX 75032

VARGAS RICARDO
149 BLANCHE DR
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT
149 VALERIE PL
ROCKWALL, TX 75032

MEZA FRANCISCO J AND YOLANDA S
150 CHRIS DR
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
154 LYNNE DR
ROCKWALL, TX 75032

VAZQUEZ RAMON LOPEZ
156 BLANCHE DR
ROCKWALL, TX 75032

PEREZ GILBERTO AND
JUANITA PEREZ
157 LYNNE DR
ROCKWALL, TX 75032

KUO DANIEL
1580 COASTAL DRIVE
ROCKWALL, TX 75087

BETETA RUTH E
159 CHRISDR
ROCKWALL, TX 75032

TEPOX FABIOLA DOMINGUEZ
159 VALERIE PL
ROCKWALL, TX 75032

DURAN ROCIO
160 VALERIE PL
ROCKWALL, TX 75032

ZAVALA HUMBERTO & IMELDA
160 YVONNE DR
ROCKWALL, TX 75032

VARGAS RICARDO
163 BLANCHE DR
ROCKWALL, TX 75032

HERNANDEZ JOSE O AND MIRIAM G SALAZAR
AND
JESUS HERNANDEZ SALAZAR
164 LYNNE DR
ROCKWALL, TX 75032

LOREDO SUSANA
166 CHRIS DR
ROCKWALL, TX 75032

CHEPETLA ANTHONY
167 LYNNE DRIVE
ROCKWALL, TX 75032

PALICIOS MARIA
168 BLANCHE DR
ROCKWALL, TX 75032

CITY OF ROCKWALL
168 VALERIE PL
ROCKWALL, TX 75032

LOZANO ISIDRO
1705 HIGH MEADOW DR
GARLAND, TX 75040

HERNANDEZ BENJAMIN AND
MARIANA SIFUENTES
172 VALERIE PL
ROCKWALL, TX 75032

CARRILLO JORGE
173 CHRIS DR
ROCKWALL, TX 75032

GOMEZ ALEJANDRO
175 BLANCHE DR
ROCKWALL, TX 75032

LOC PHU AND VINCENT TONG
175 VALERIE PL
ROCKWALL, TX 75032

OLIVARES JAIME
178 BLANCHE DR
ROCKWALL, TX 75032

PALICIOS ARIEL
178 LYNNE DR
ROCKWALL, TX 75032

MAZARIEGOS EDGAR & SONIA I
178 VALERIE PL
ROCKWALL, TX 75032

CRUZ IGNACIO
179 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ ALMA RODRIGUEZ
181 CHRIS DR
ROCKWALL, TX 75032

GUTIERREZ DONATILO & BLANCA
185 BLANCHE DR
ROCKWALL, TX 75032

ESQUIVEL ZAIDA
186 CHRIS DRIVE
ROCKWALL, TX 75032

RETANA JOSE L
187 LYNNE DR
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO &
MARIA BLANCA RESENDIZ
187 VALERIE PL
ROCKWALL, TX 75032

ALVAREZ FRANCISCO J
190 BLANCHE DR
ROCKWALL, TX 75032

SANCHEZ ALEJANDRO &
KARLA CAMACHO
190 YVONNE DR
ROCKWALL, TX 75032

GUTIERREZ DONATILO & BLANCA
192 LYNNE DR
ROCKWALL, TX 75032

LOZANO ISIDRO
192 VALERIE PL
ROCKWALL, TX 75032

RANGEL JUAN
193 CHRIS DR
ROCKWALL, TX 75032

GARCIA JOSE
195 BLANCHE DR
ROCKWALL, TX 75032

CARMONA JOEL
196 CHRIS DR
ROCKWALL, TX 75032

MELENDEZ HOPE
199 DIANA DR
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PL
ROCKWALL, TX 75032

ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX 75032

CORDOVA JUAN JOSE RANGEL
203 CHRIS DR
ROCKWALL, TX 75032

WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVIS-
WILSON
203 LYNNE DR
ROCKWALL, TX 75032

REYES MARIA ISABEL AND RAMIRO M
204 CHRIS DR
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
204 LYNNE DR
ROCKWALL, TX 75032

MEDINA MARIA V AND
MARITZA ALONSO
204 YVONNE
ROCKWALL, TX 75032

URBINA ARACELI C
209 BLANCHE DR
ROCKWALL, TX 75032

CANADY JERRY ANN
209 VALERIE PL
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE
212 LYNNE DR
ROCKWALL, TX 75032

BALDERAS LEANDRO & LAURA
213 CHRIS DR
ROCKWALL, TX 75032

SALAS HECTOR JABIER & CAROLINA ORTIZ
214 BLANCHE DR
ROCKWALL, TX 75032

WILSON JAMES F & ROBERTA B J
215 LYNNE DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F
216 CHRIS DR
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
219 BLANCHE DR
ROCKWALL, TX 75032

RUIZ JOSE C
219 VALERIE PL
ROCKWALL, TX 75032

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

ESPARZA JUANA
225 LYNNE DR
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ
226 BLANCHE DRIVE
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
229 BLANCHE DR
ROCKWALL, TX 75032

KUO DANIEL
229 VALERIE PL
ROCKWALL, TX 75032

YANEZ MARIA TERESA
230 CHRIS DR
ROCKWALL, TX 75032

PEREZ FERMIN
230 LYNN DRIVE
ROCKWALL, TX 75032

CONFIDENTIAL
230 LYNNE DR
ROCKWALL, TX 75032

HERNANDEZ GUILLERMINA
231 CHRIS DRIVE
ROCKWALL, TX 75032

UGALDE VICENTE R
234 BLANCHE DR
ROCKWALL, TX 75032

CARMONA MARTIN SALVADOR
235 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
235 LYNNE DRIVE
ROCKWALL, TX 75032

MILESTONE ELECTRIC INC
2360 CRIST ROAD SUITE B900
GARLAND, TX 75040

UGALDE VICENTE R
238 BLANCHE DR
ROCKWALL, TX 75032

CARRILLO JAIME
242 CHRIS DR
ROCKWALL, TX 75032

TONG VINCENT
247 BLANCHE DR
ROCKWALL, TX 75032

CARMONA EVELIA
249 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
254 LYNNE DR
ROCKWALL, TX 75032

SALAZAR-CARMONA MIRIAM GUADALUPE
263 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ RICARDO
2847 TANGLEGLEN DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F
293 YVONNE
ROCKWALL, TX 75032

MAZARIEGOS EDGAR & SONIA I
3248 BLACKLAND RD
ROYSE CITY, TX 75189

PALICIOS MARIA
365 LYNNE DR
ROCKWALL, TX 75032

MEZA FRANCISCO J AND YOLANDA S
3778 PR 3843
QUINLAN, TX 75474

BIG BUCK PROPERTIES LLC
382 RANCH TRL
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO &
MARIA BLANCA RESENDIZ
397 CHRIS DR
ROCKWALL, TX 75032

LOZANO ISIDRO
420 COUNTY LINE RD
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
430 RENEE DRIVE
ROCKWALL, TX 75032

CORDOVA JUAN JOSE RANGEL
4427 FM 550
ROYSE CITY, TX 75189

RANGEL JUAN
4427 FM 550
ROYSE CITY, TX 75187

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

BIG LEAGUE SPORTS ACADEMY INC
505 COUNTY LINE RD
ROCKWALL, TX 75032

BIG LEAGUE SPORTS ACADEMY INC
5508 FOREST LANE
DALLAS, TX 75230

ROCKWALL LAKE PROPERTIES
5713 SECREST CT
GOLDEN, CO 80403

REYES MARIA ISABEL AND RAMIRO M
603 S CREEK DR
ROYSE CITY, TX 75189

FLORES DAYANARA &
JAMES GLEASON
611 MEADOW DR
ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR
6379 KLONDIKE RD
RIPLEY, NY 14775

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

PAVON MARISOL
810 E. DOUGHERTY DR
GARLAND, TX 75041

GARCIA MARTIN
852 ROSE LANE
ROCKWALL, TX 75087

BIG BUCK PROPERTIES LLC
PO BOX 2107
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-025: Specific Use Permit for a Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Kevin Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 908A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 154 Lynne Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 13, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 19, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 19, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-025: Specific Use Permit for a Residential Infill in an Established Subdivision

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Lee, Henry

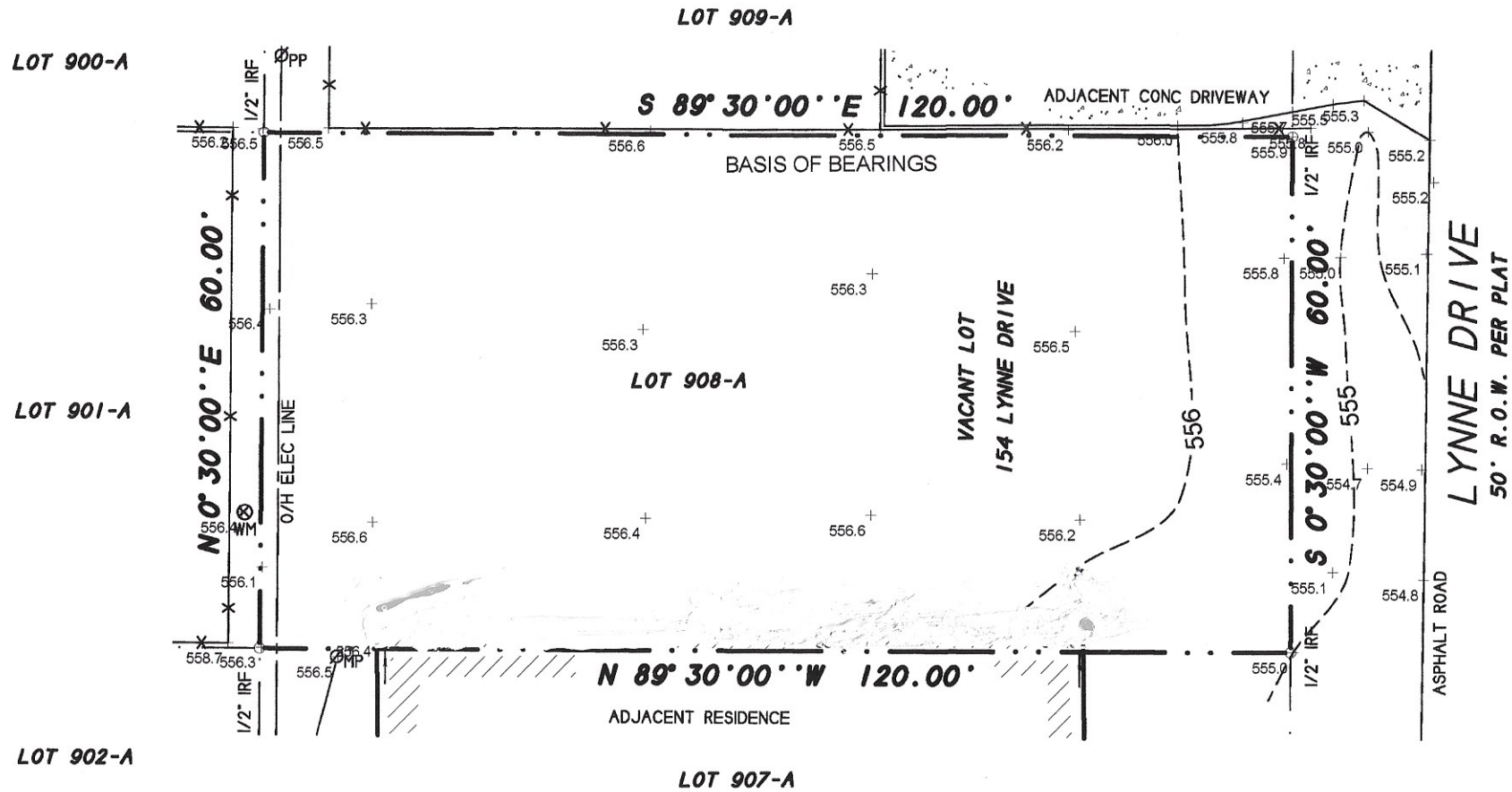
From: Chuy Hernandez <chilango9265@gmail.com>
Sent: Friday, July 2, 2021 6:49 PM
To: Planning
Subject: Case No Z2021-025

Im opposing the living house it is to large and to close to my property it is also zoned out in very little acreage.Jesus Hernandez 164 lynne rockwall Texas,75032

This email was scanned by Bitdefender

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PLAT OF SURVEY



DESCRIPTION


BEING Lot 908-A, Rockwall Lake Subdivision, Section II, formerly, Lake Echo Subdivision, an Addition to Rockwall County, Texas, and being recorded in Cabinet A, Slides 79 and 80, of the Plat Records of Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Arturo Osornio at 154 Lynne Drive, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 7th day of May, 2020.


 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND					
Ⓣ	Ⓜ	Ⓣ	Ⓜ	Ⓜ	Ⓜ
TELEVISION CABLE RISER	GAS METER	TEL RISER	FH HYDRANT	PP POWER POLE	
Ⓜ	Ⓜ	Ⓜ	Ⓜ	Ⓜ	Ⓜ
ELEC ELECTRIC METER	ELEC BOX	WM WATER METER	LP LIGHT POLE	1/2" IRF IRON ROD FOUND (CORNER)	Ⓜ
---	---	---	---	---	---
FENCE	EASEMENT LINE	PROPERTY LINES	A/C AIR COND. UNIT	PROANE TANK	

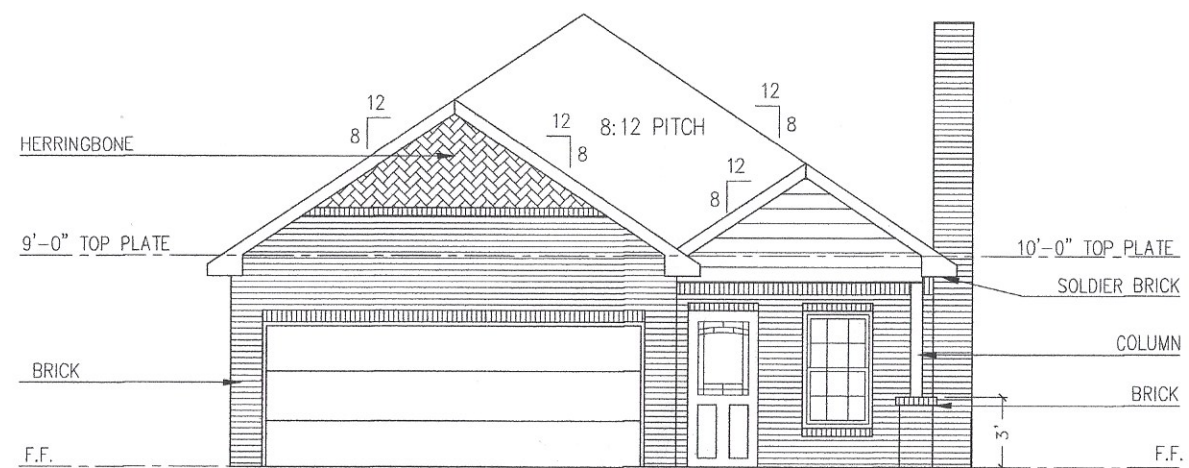
SURVEY ACCEPTED BY:

DATE _____

DATE _____

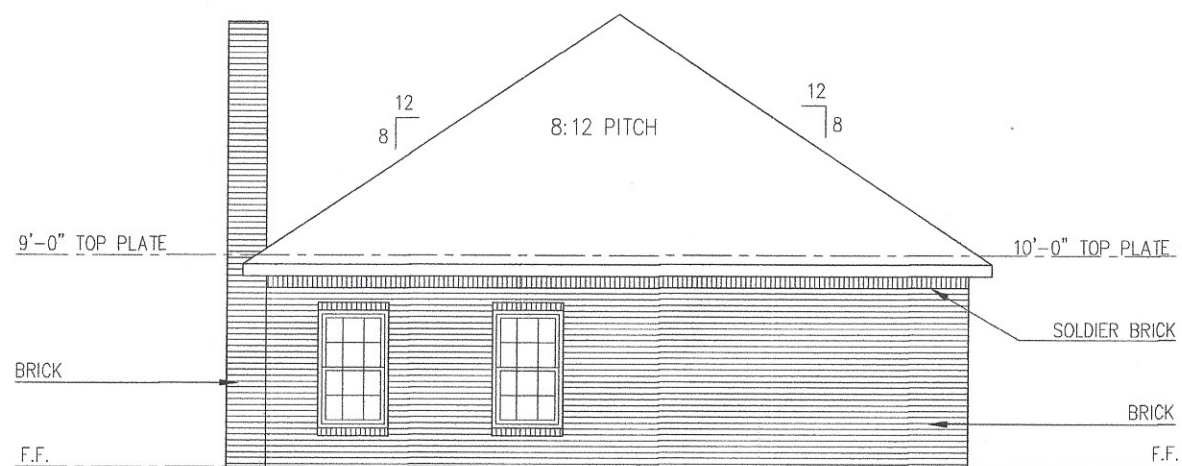
H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 10150900
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE MAY 7, 2020
 SCALE 1" = 20' FILE # 20200145
 CLIENT OSORNIO GF # NONE



FRONT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

REVISIONS:

- 1
- 2
- 3
- 4

New Residence
425 Bass Drive
Rockwall, Texas

DRAWN BY:

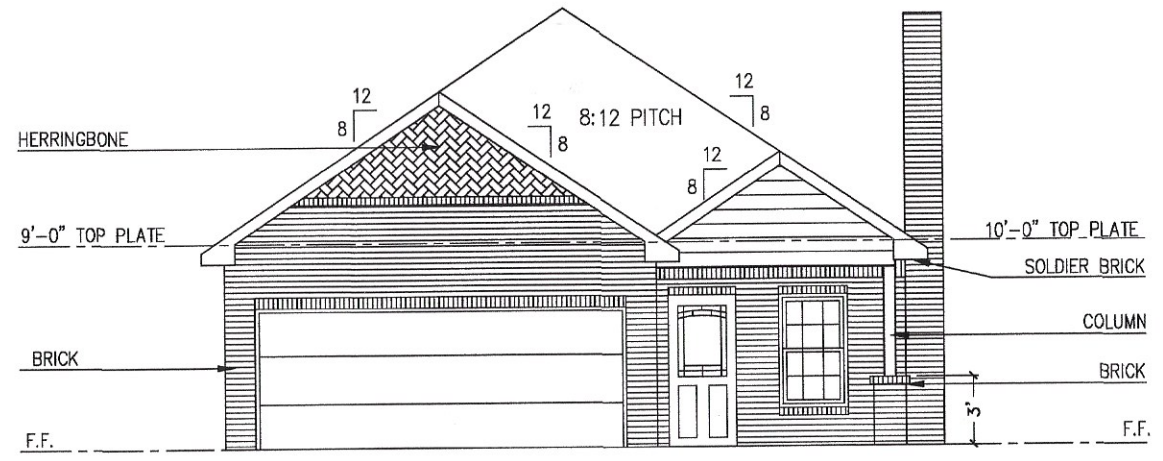
vg

ISSUED ON:

PLAN NAME:

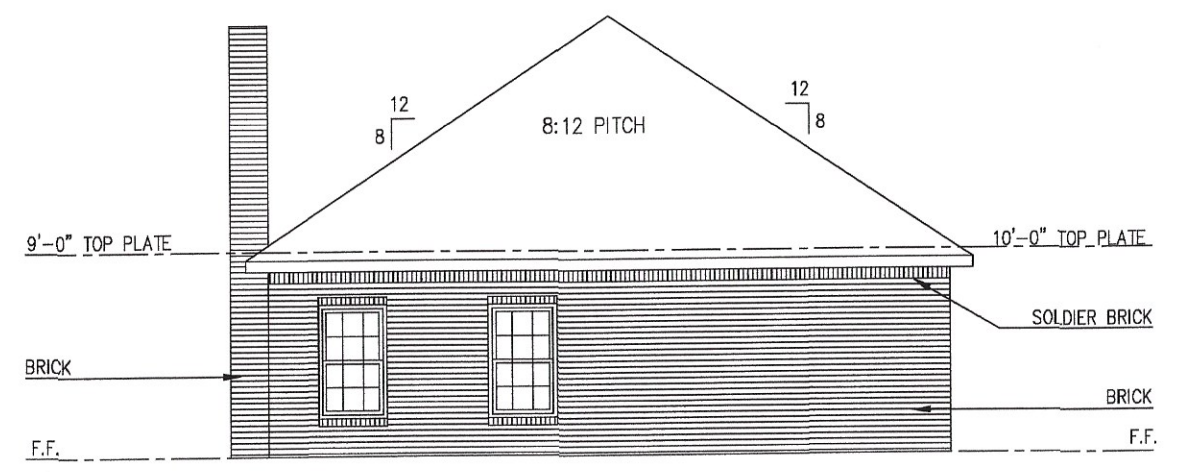
**SHEET
A1**

1 of 5



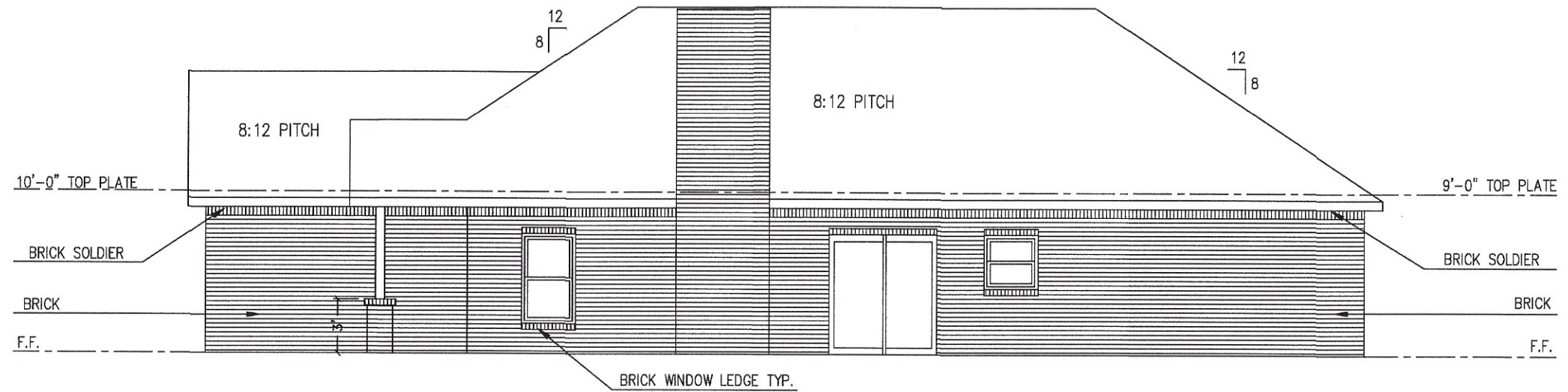
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



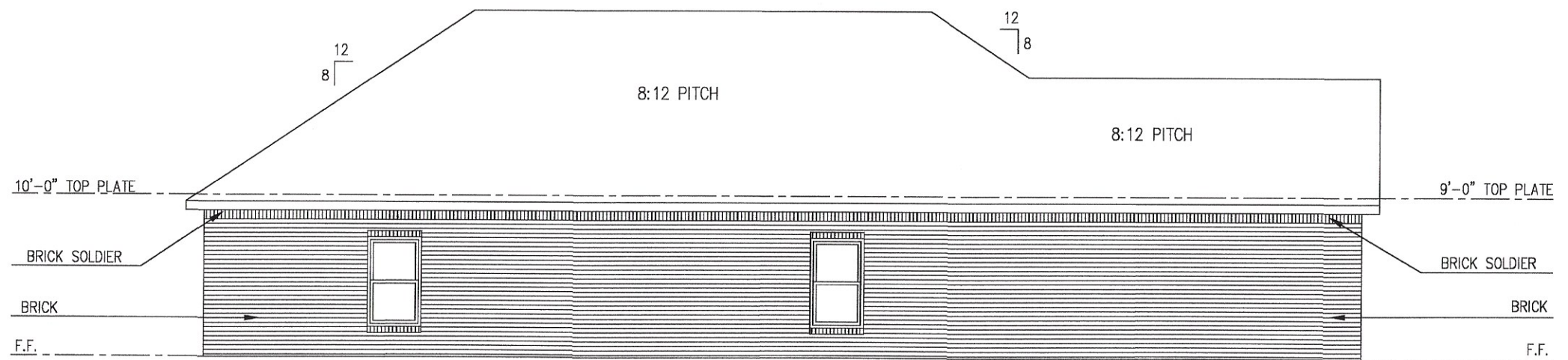
REAR ELEVATION

SCALE: 1/8" = 1'-0"



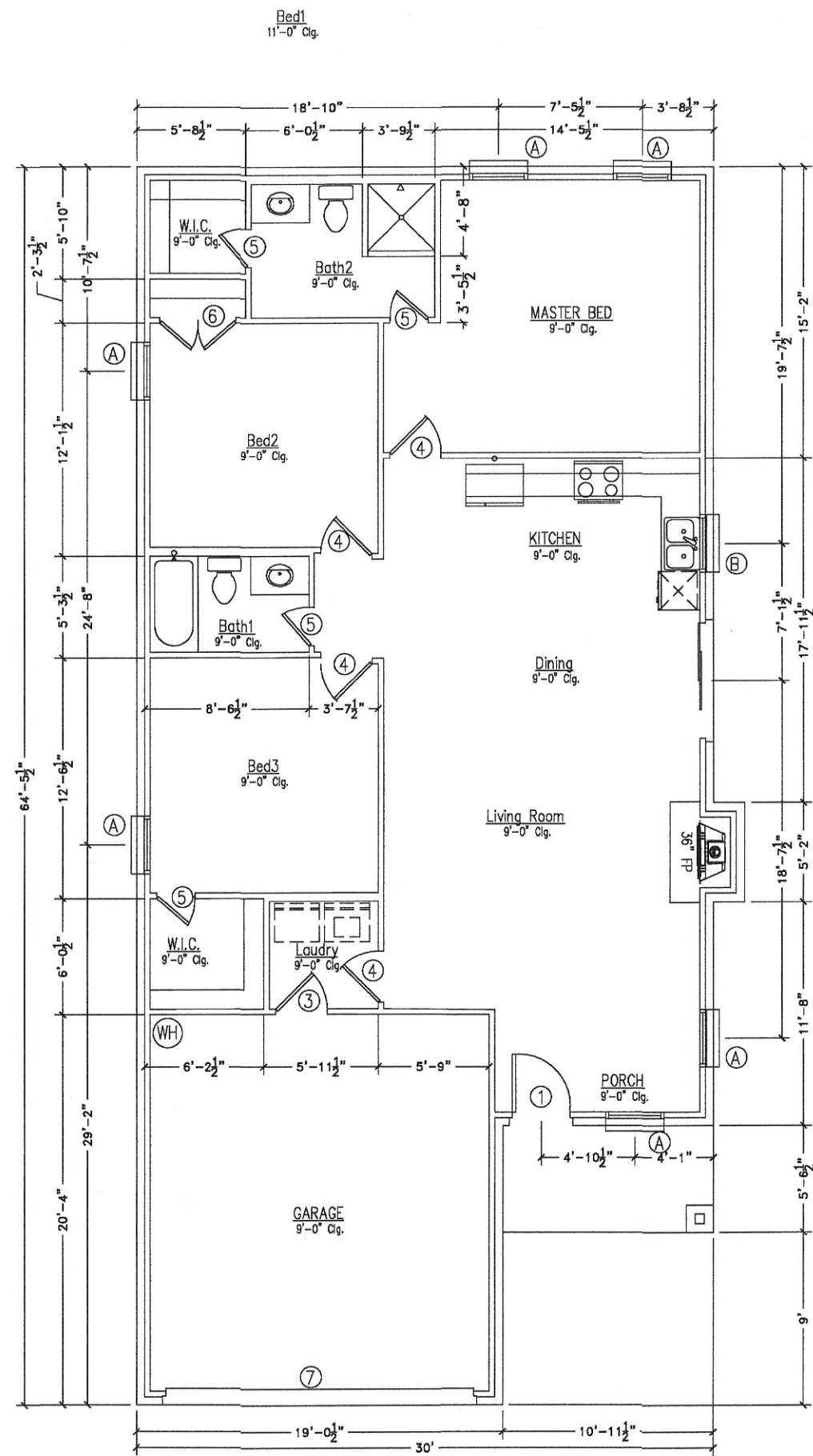
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"



AREA CALCULATIONS	
ELEV	
1ST FLOOR LIVING	1400 S.F.
PATIO	60 S.F.
GARAGE	384 S.F.
TOTAL UNDER ROOF	1844 S.F.

DOOR SCHEDULE			
SYMBOL	SIZE	TYPE	QTY.
①	3068	EXT.	1
②	6068	EXT. SLIDING	1
③	2868	INT. METAL	1
④	2868	INT.	4
⑤	2068	INT.	4
⑥	2-2068	INT.	1
⑦	16070	GARAGE	1

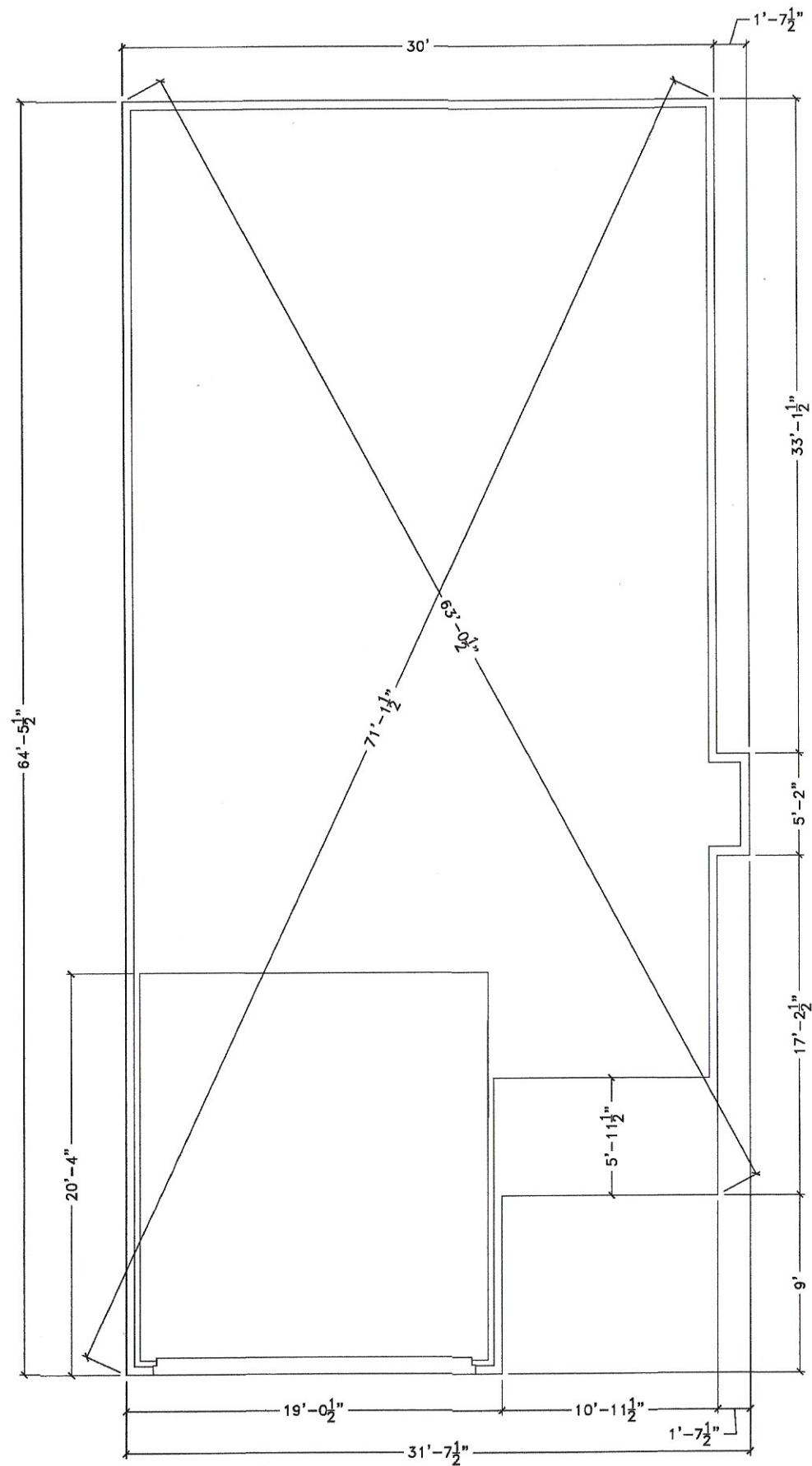
WINDOW SCHEDULE			
SYMBOL	SIZE	TYPE	QTY.
(A)	3060	SH. TAN VINYL.	6
(B)	3030	SH. TAN VINYL.	1

- GENERAL NOTES:**
- All roof rafters shall be 2x6's @ 24" o.c. unless noted otherwise.
 - All ridges and valleys shall be 2x8's unless noted otherwise.
 - Purlins shall be placed to reduce rafter spans to 11'-4" or less.
 - Rafters, ridges, and valleys shall be #2 S.Y. Pine or equal.
 - Furr down 2x6 rafters with 2x2's in all areas of sloped ceilings. Attach with 3 1/2" screws @ 6" o.c.
 - Beam and purlin loads shall be distributed to walls or double ceiling joists by T columns of 2-2x6's.
 - Collar ties shall be placed @ 48" o.c. max at ridges.
 - Struts shall be 2-2x4's at an angle greater than 46 degrees.
 - All ceiling joists to be 2x6's @ 24" o.c. unless noted otherwise.
 - Ceiling joists shall be #2 S.Y. Pine unless noted otherwise and shall not exceed the following spans:

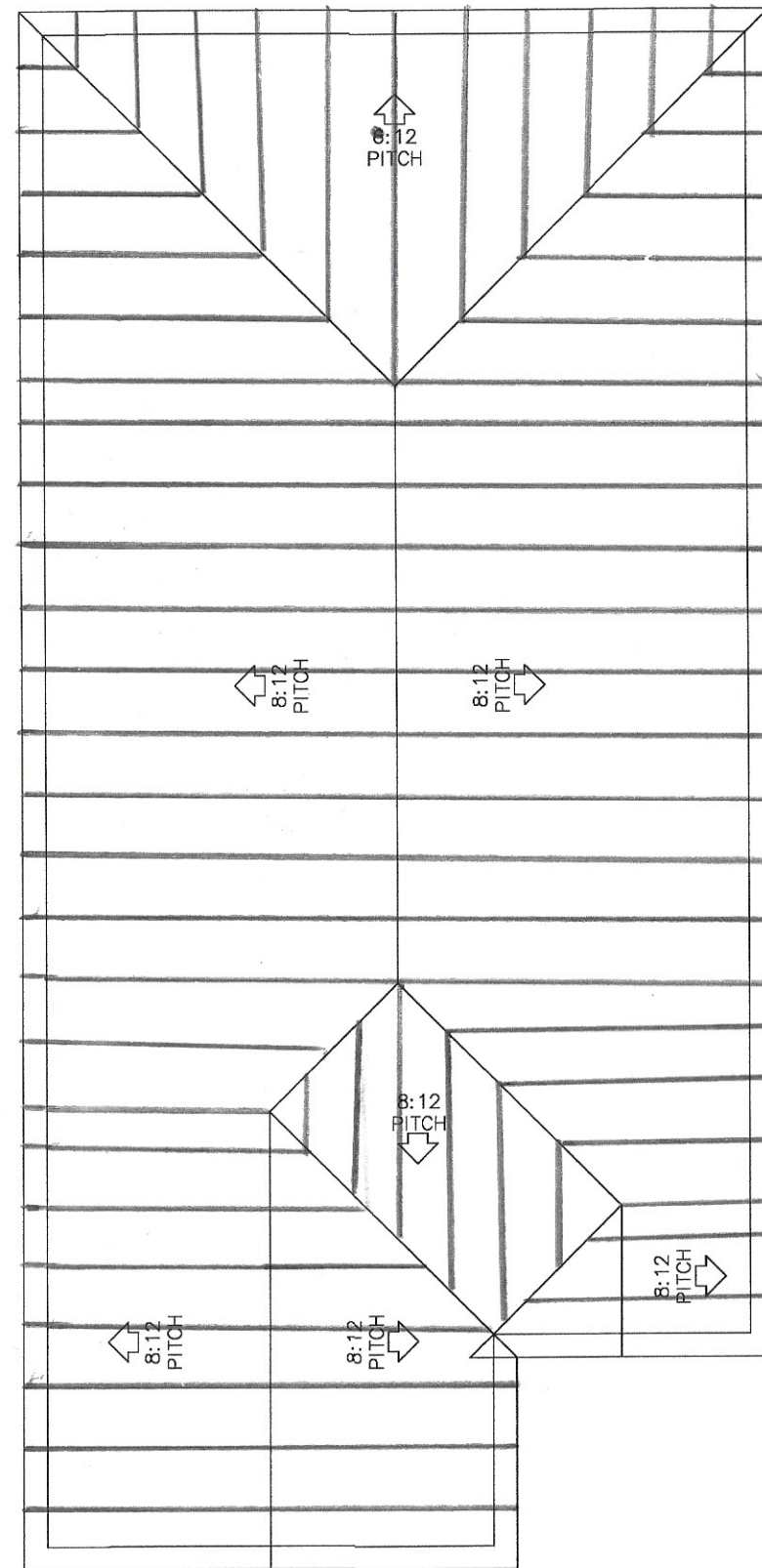
NO STORAGE	LIMITED STORAGE
2x6 - 13'-6" @ 24" o.c.	2x6 - 9'-10" @ 24" o.c.
2x8 - 17'-7" @ 24" o.c.	2x8 - 12'-6" @ 24" o.c.
2x10 - 20'-11" @ 24" o.c.	2x10 - 14'-9" @ 24" o.c.
 - Roof shall be comp. shingles.

- GENERAL NOTES:**
- ALL WORK SHALL BE IN STRICT CONFORMANCE TO ALL APPLICABLE CODES, REGULATIONS AND LAWS.
 - ALL WALLS SHALL BE 3 1/2". UNLESS NOTED OTHERWISE.
 - ALL PLUMBING WALLS TO BE 5 1/2".
 - ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINERY.

1st FLOOR PLAN
SCALE: 1/8" = 1'-0"



FORM LAYOUT
SCALE: 1/8" = 1'-0"

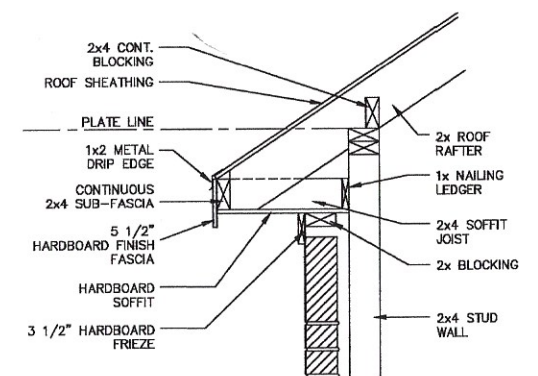


ROOF PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. All roof rafters shall be 2x6's @ 24" o.c. unless noted otherwise.
2. All ridges and valleys shall be 2x8's unless noted otherwise.
3. Purlins shall be placed to reduce rafter spans to 11'-4" or less.
4. Rafters, ridges, and valleys shall be #2 S.Y. Pine or equal.
5. Furr down 2x6 rafters with 2x2's in all areas of sloped ceilings. Attach with 3 1/2" screws @ 6" o.c.
6. Beam and purlin loads shall be distributed to walls or double ceiling joists by T columns of 2-2x6's.
7. Collar ties shall be placed @ 48" o.c. max at ridges.
8. Struts shall be 2-2x4's at an angle greater than 46 degrees.
9. All ceiling joists to be 2x6's @ 24" o.c. unless noted otherwise.
10. Ceiling joists shall be #2 S.Y. Pine unless noted otherwise and shall not exceed the following spans:

NO STORAGE	LIMITED STORAGE
2x6 - 13'-6" @ 24" o.c.	2x6 - 9'-10" @ 24" o.c.
2x8 - 17'-7" @ 24" o.c.	2x8 - 12'-6" @ 24" o.c.
2x10 - 20'-11" @ 24" o.c.	2x10 - 14'-9" @ 24" o.c.
11. Roof shall be comp. shingles.



01 TYP. EAVE @ 8:12 PITCH
HEAD SIM.

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
115 Eva Place	Single-Family Home	2008	1,529	N/A	Vinyl Siding
124 Eva Place	Single-Family Home	1973	980	150	Vinyl Siding
135 Eva Place	Single-Family Home	1985	1,568	462	Vinyl Siding
146 Eva Place	Single-Family Home	1993	1,368	N/A	Vinyl Siding
147 Eva Place	Subject Property		RCAD	Vacant	
154 Eva Place	Accessory Building			500	Wood
159 Eva Place	Single-Family Home		1,250	N/A	Vinyl Siding
162 Eva Place	Single-Family Home	2008	1,729	64	Brick
172 Eva Place	Single-Family Home	1985	980	150	Vinyl Siding
173 Eva Place	Vacant				
186 Eva Place	Single-Family Home	2007	1,058	N/A	Stucco
187 Eva Place	Single-Family Home	1985	672	N/A	Vinyl Siding
197 Eva Place	Vacant				
198 Eva Place	Single-Family Home	1977	980	64	Vinyl Siding
209 Eva Place	Vacant				
214 Eva Place	Single-Family Home	1964	600	N/A	Wood
228 Eva Place	Single-Family Home	2006	650	450	Brick
109 Diana	Single-Family Home	1984	1,008	N/A	Wood Siding
	Averages:	1990	1,106	263	



109 Diana Drive



115 Eva Place



124 Eva Place



135 Eva Place



146 Eva Place



159 Eva Place



162 Eva Place



172 Eva Place



186 Eva Place



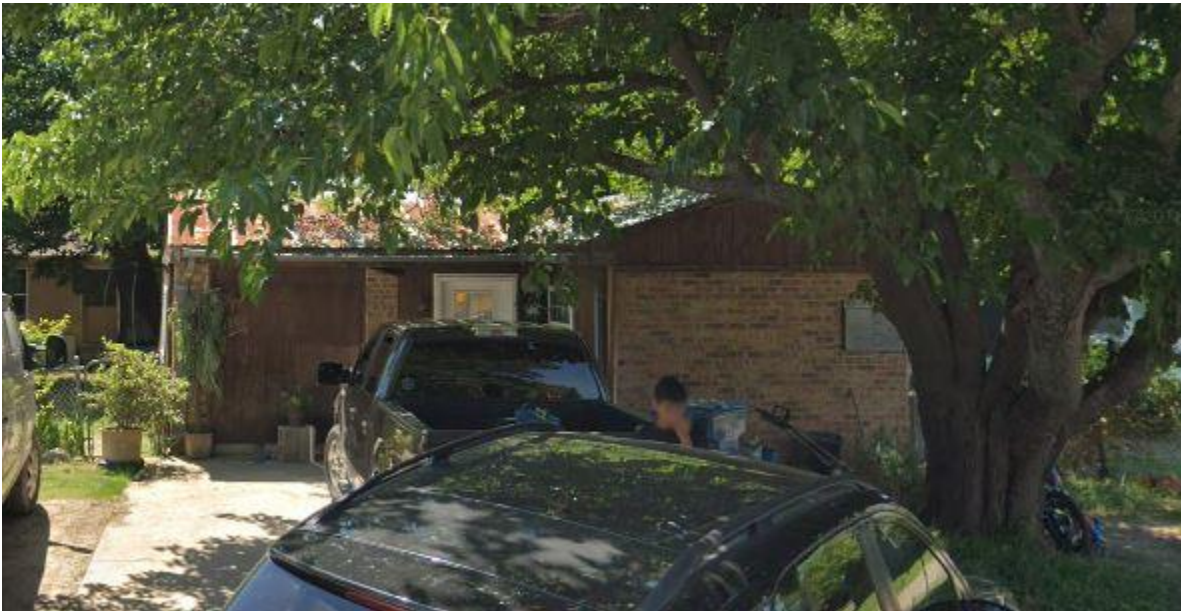
187 Eva Place



198 Eva Place



214 Eva Place



228 Eva Place

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.165-ACRE TRACT OF LAND, IDENTIFIED AS LOT 908A, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Kevin Osornio for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.165-acre tract of land identified as Lot 908A, Rockwall Lake Properties Development #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 154 Lynne Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2TH DAY OF AUGUST, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

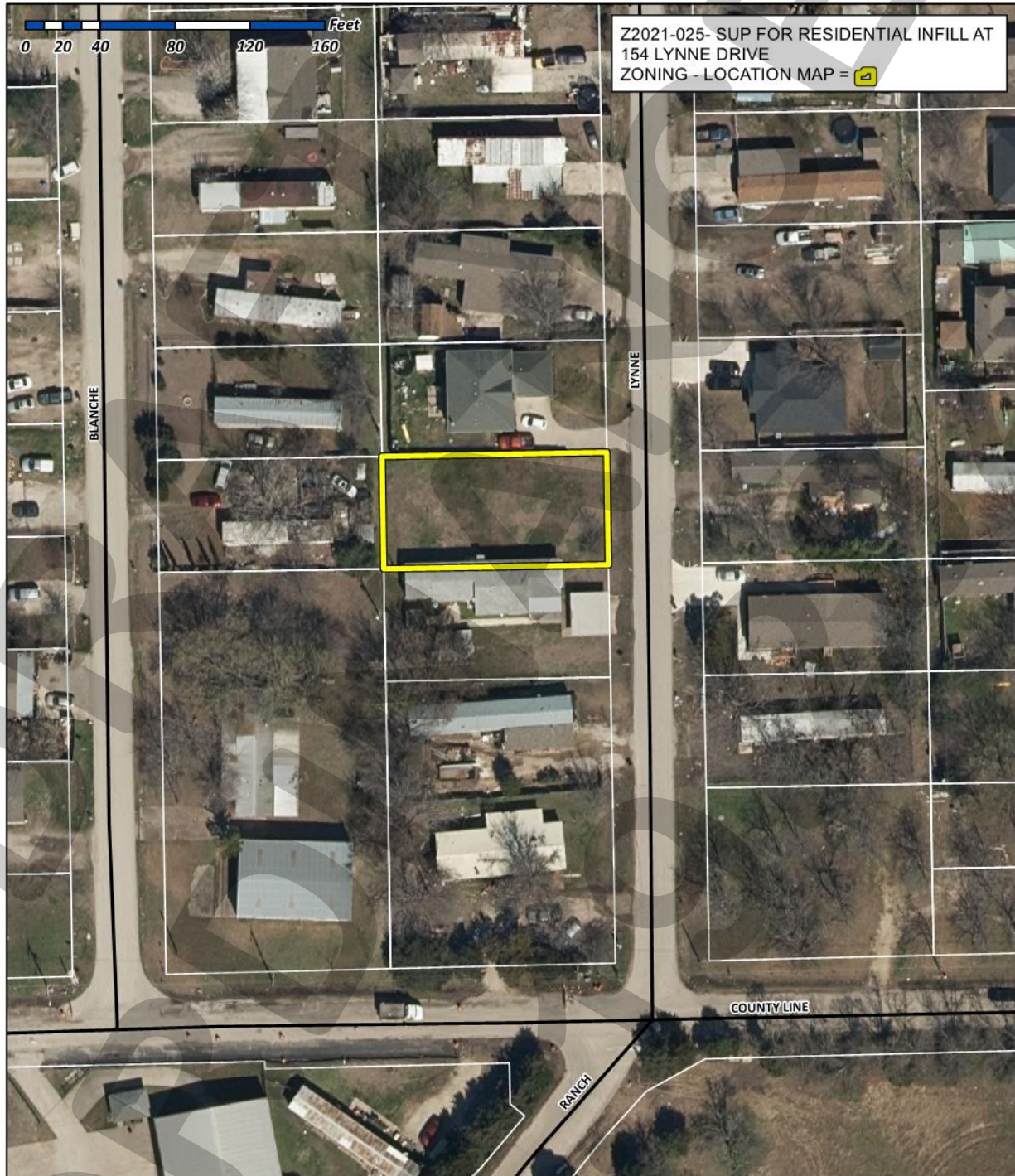
1st Reading: July 19, 2021

2nd Reading: August 2, 2021

Exhibit 'A'
Location Map

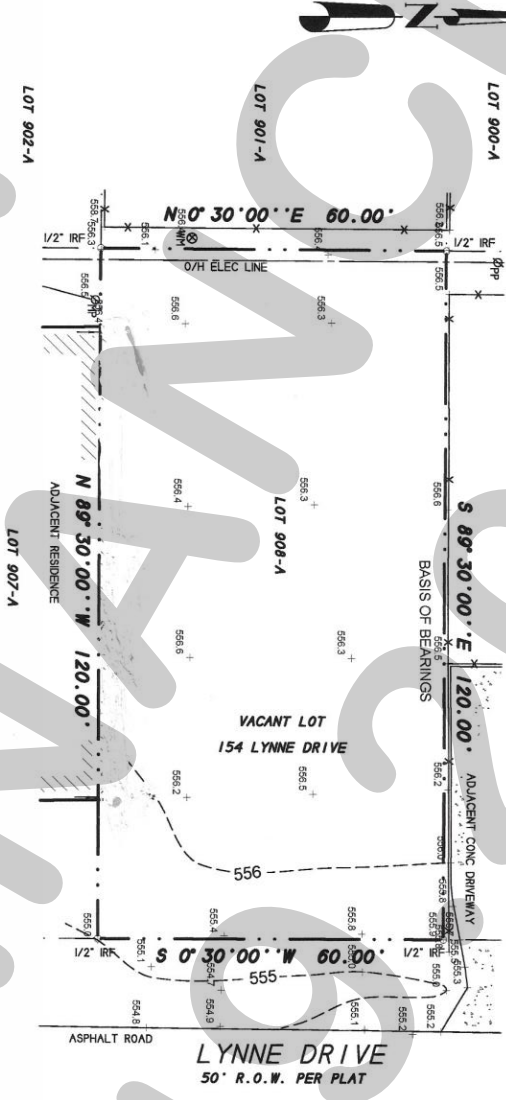
Address: 154 Lynne Drive

Legal Description: Lot 908A, Rockwall Lake Estates #2 Addition



**Exhibit 'B':
Residential Plot Plan**

PLAT OF SURVEY



DESCRIPTION

BEING Lot 908-A, Rockwall Lake Subdivision, Section II, formerly, Lake Echo Subdivision, an Addition to Rockwall County, Texas, and being recorded in Cabinet A, Slides 79 and 80, of the Plat Records of Rockwall County, Texas.

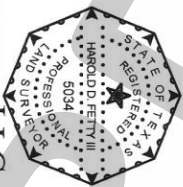
NOTES

- 1) According to E M A Flood Insurance Rate Map, Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to be within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYORS CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property situated in Rockwall County, Texas, is a true and correct representation of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 7th day of May, 2020.

Harold D. Fetty III, R.P.L.S. No. 5034



H.D. Fetty Land Surveyor, LLC

Firm Registration no. 10150900
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE traoy@hdfetty.com

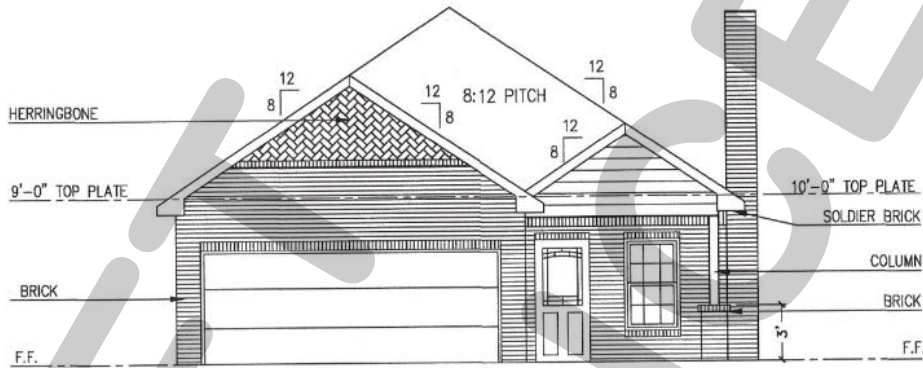
SYMBOL LEGEND	
⊙	IRON PIPES
⊙	STEEL PIPES
⊙	CONCRETE PIPES
⊙	WOODEN PIPES
⊙	ASBESTOS CEMENT PIPES
⊙	GLASS PIPES
⊙	PLASTIC PIPES
⊙	OTHER PIPES
⊙	WELDED IRON PIPES
⊙	CAST IRON PIPES
⊙	DUCTILE IRON PIPES
⊙	CLAY PIPES
⊙	CEMENT PIPES
⊙	GLASS PIPES
⊙	PLASTIC PIPES
⊙	OTHER PIPES
⊙	WELDED IRON PIPES
⊙	CAST IRON PIPES
⊙	DUCTILE IRON PIPES
⊙	CLAY PIPES
⊙	CEMENT PIPES
⊙	GLASS PIPES
⊙	PLASTIC PIPES
⊙	OTHER PIPES
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⊙	CAST IRON PIPES
⊙	DUCTILE IRON PIPES
⊙	CLAY PIPES
⊙	CEMENT PIPES
⊙	GLASS PIPES
⊙	PLASTIC PIPES
⊙	OTHER PIPES

SURVEY ACCEPTED BY:

DATE _____

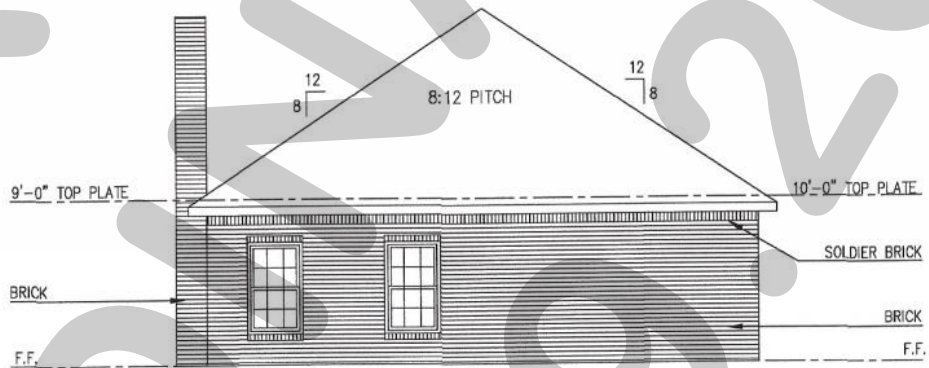
DATE _____

Exhibit 'C':
Building Elevations



FRONT ELEVATION

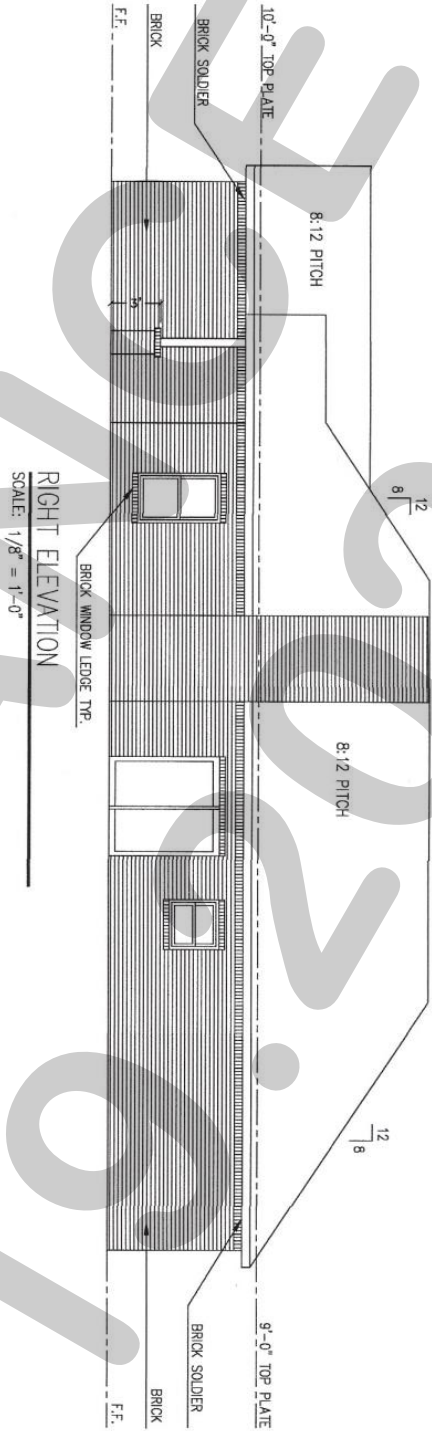
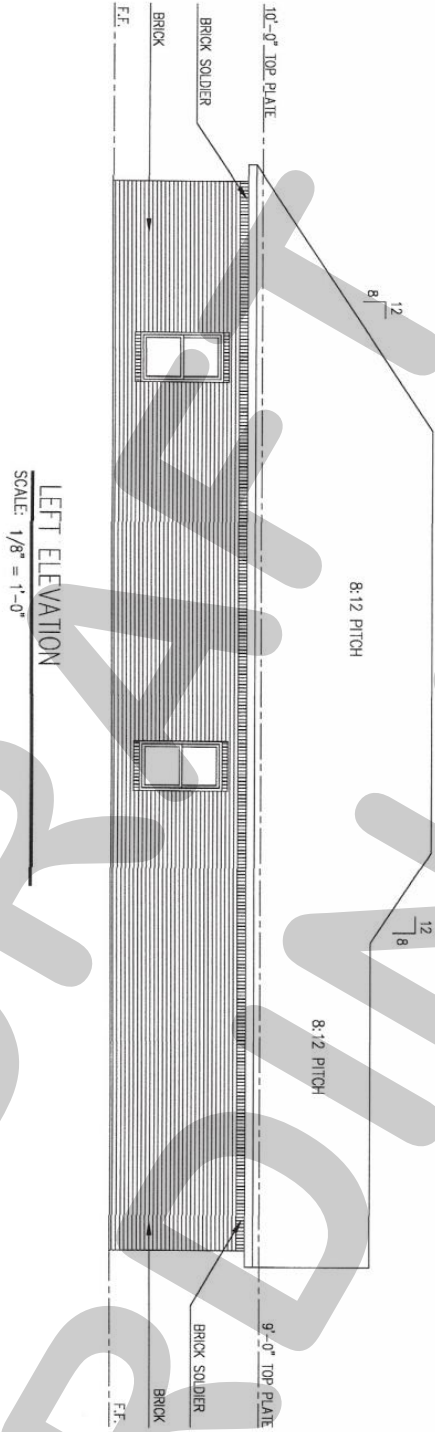
SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

Exhibit 'C':
Building Elevations





MEMORANDUM

TO: Mary Smith, Interim City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: July 19, 2021

SUBJECT: Z2021-026; AMENDMENT TO PLANNED DEVELOPMENT DISTRICT 8 (PD-8) FOR TOWNHOMES

Attachments
Memorandum

Summary/Background Information

Hold a public hearing to discuss and consider a request by Troy Lewis of Newstream Capital Partners for the approval of an ordinance for a *Zoning Change* to amend Planned Development District 8 (PD-8) [Ordinance No. 92-39] for the purpose of allowing townhomes on a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 92-39] for Zero Lot Line (ZL-5) District land uses, generally located south on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary (1st Reading).

Action Needed

The City Council will need to announce that this public hearing has been postponed to August 2, 2021 in accordance with the Planning and Zoning Commission's action to table the case at the July 13, 2021 Planning and Zoning Commission Meeting.



CITY OF ROCKWALL

CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

CC: Mary Smith, *Interim City Manager*
Joey Boyd, *Assistant City Manager*

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: July 19, 2021

SUBJECT: Z2021-026; *Amendment to Planned Development District 8 (PD-8)*

On July 13, 2021, the Planning and Zoning Commission voted 6-0 (*with Commissioner Deckard absent*) to table Case No. Z2021-026 to the July 27, 2021 Planning and Zoning Commission meeting. The purpose of the motion was to allow the applicant time to secure a letter from the Chandler's Landing Homeowner's Association (HOA) indicating that this development would be incorporated into the HOA. According to Subsection 02.03(C)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(a) public hearing may be continued by the Planning and Zoning Commission or City Council ... (t)he continuation of a public hearing shall be to a specific time and date no later than 30-days from the first or most recent public hearing ... [and] (t)he announcement of a continuation at a public hearing shall be sufficient notice and no additional notice is required." Since this case was advertised for a public hearing at the July 19, 2021 City Council meeting, the City Council will need to announce the updated public hearing date of August 2, 2021; however, no further action will be required. Should the City Council have any questions staff will be available at the July 19, 2021 City Council meeting.



MEMORANDUM

TO: Mary Smith, Interim City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: July 19, 2021

SUBJECT: A2021-004; ANNEXATION OF THE STEVENSON TRACT

Attachments

Memorandum
Location Map
Applicant's Annexation Request
Public Notice
212 Development Agreement
Municipal Services Agreement
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider the approval of an ordinance annexing a 20.83-acre tract of land in accordance with a 212 Development Agreement and identified as Tract 22 of the W. M. Dalton Survey, Abstract No. 72, Rockwall County, Texas, addressed as 427 Clem Road, and take any action necessary (1st Reading).

Action Needed

The City Council is being asked to hold a public hearing and approve or deny the annexation request.



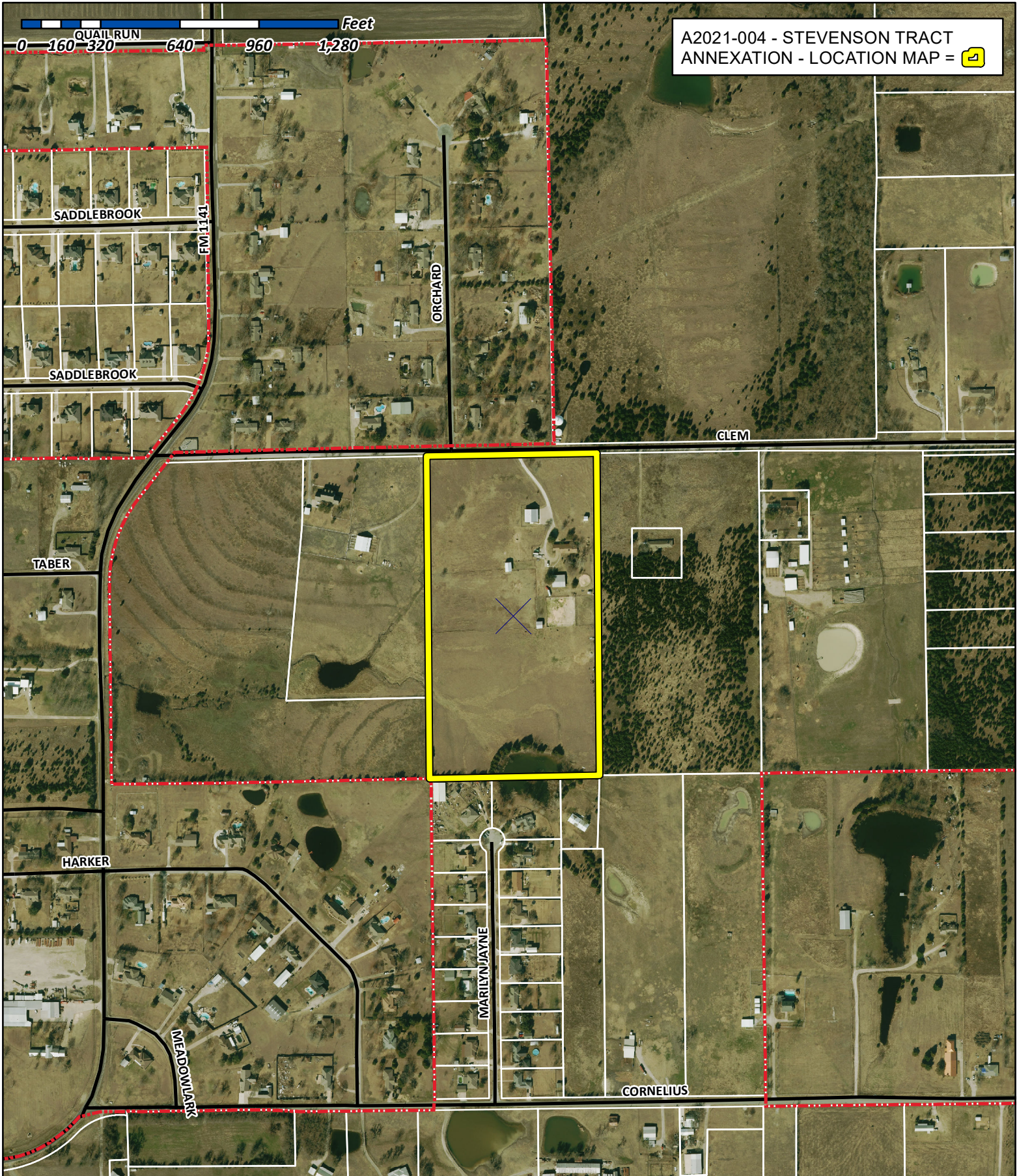
CITY OF ROCKWALL
CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
CC: Mary Smith, *Interim City Manager*
Joey Boyd, *Assistant City Manager*
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: July 19, 2021
SUBJECT: A2021-004; *Annexation of the Stevenson Tract*

In May 2021, Adam Buzcek of the Skorburg Co. submitted a request proposing a 212 Development Agreement for a 20.83-acre tract of land (*i.e. Tract 22 of the W. M. Dalton Survey, Abstract No. 72*) [*i.e. the Stevenson Tract or the subject property*]. Under this agreement the subject property would be annexed into the City of Rockwall and incorporated into Planned Development District 91 (PD-91). Currently, the subject property is situated within the City's Extraterritorial Jurisdiction (ETJ) and is not subject to the City's zoning requirements; however, the City does have a previously approved 212 Development Agreement on the subject property that the current owner entered into on January 19, 2011 [*Case No. A2010-002*]. This agreement is more of a non-development agreement that allows the subject to remain in the City's Extraterritorial Jurisdiction (ETJ) as long as the property is continued to be used for agricultural purposes. Based on Subchapter C-3 of Chapter 43 and Section 212.172(b) of the Texas Local Government Code (TLGC), the City Council approved entering into the new 212 Development Agreement on June 21, 2021 and the agreement was executed on June 24, 2021.

Based on the requirements of this agreement, the property owners -- *Allen and Lisa Stevenson* -- submitted a request to annex the subject property and signed the Municipal Service Agreement on June 24, 2021. According to Section 43.0673 of Subchapter C-3, *Annexation of Area on Request of Owners*, of Chapter 43, *Municipal Boundaries and Annexation*, of the Texas Local Government Code (TLGC), "...before a municipality may adopt an ordinance annexing an area under this subchapter, the governing body of the municipality must conduct one public hearing..." In the attached packet staff has included the public hearing notice which was posted in the Rockwall Herald Banner on July 2, 2021, a copy of the executed 212 Development Agreement, the signed Municipal Service Agreement, and a draft ordinance. Staff should note that accompanying this case is *Case No. Z2021-027*, which will amend Planned Development District 91 (PD-91) to incorporate the subject property. In accordance with Section 212.172(b)(8) of the Texas Local Government Code (TLGC) and the executed 212 Development Agreement this case has been put on the *Action Items* section of this agenda to follow the City Council's action on the annexation. Should the City Council have any questions staff and the City Attorney will be available at the July 19, 2021 City Council meeting.



A2021-004 - STEVENSON TRACT ANNEXATION - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



June 24, 2021

City of Rockwall
Attn: Ryan Miller, AICP
385 S Goliad St
Rockwall, TX 75087

RE: Annexation Request of Tract 22 of the W. M. Dalton Survey, Abstract No. 72, Rockwall County, Texas

Dear Mr. Miller,

Please accept this letter to request the City of Rockwall (the "City") to annex our property in accordance with the associated annexation and development agreement that was approved by City Council on June 21, 2021.

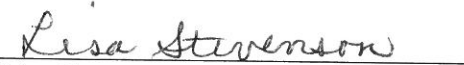
As provided for in the document referenced about, the annexation will not take place unless and until the property is closed on by Skorburg Development.

If you have any questions, you may reach us at (214) 364-3944 or via e-mail at allstevenson@gmail.com.

Sincerely,



Allen Stevenson



Lisa Stevenson

PUBLIC NOTICE

The City of Rockwall City Council will hold a public hearing on Monday, July 19, 2021 to consider the following annexation request. The public hearing will take place at 6:00 PM in the Council Chambers at Rockwall City Hall, 385 S. Goliad Street, Rockwall, Texas.

A2021-004: ANNEXATION OF TRACT 22 OF THE W. M. DALTON SURVEY, ABSTRACT NO. 72

Hold a public hearing to discuss and consider a request by Allen and Lisa Stevenson for the approval of the annexation of 20.83-acre tract of land identified as Tract 22 of the W. M. Dalton Survey, Abstract No. 72, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), contiguous to the existing corporate limits of the City of Rockwall, generally located on the southside of Clem Road east of the intersection of Clem Road and FM-1141, and take any action necessary.

Upon annexation, the City Council shall also consider zoning the subject property Planned Development District 91 (PD-91) for Single-Family 16 (SF-16) District land uses. All interested parties are welcome to attend these meetings. Interested parties that wish to submit public comments via email may do so by sending the comments to Planning@rockwall.com at least 24-hours in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. For all questions concerning these cases, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745 or email Planning@rockwall.com. Additional information on all annexation cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/Annexations/AnnexationNotices>.



CHAPTER 43 TEXAS LOCAL GOVERNMENT CODE
DEVELOPMENT AGREEMENT

This Development Agreement [the *Agreement*] is entered into pursuant to Sections 43.035 and 212.172 of the Texas Local Government Code by and between the City of Rockwall, Texas [the *City*], the undersigned property owner(s) (*i.e. Allen and Lisa Stevenson*) [collectively known as the *Owner*], and the Skorburg Retail Corporation [the *Developer*] on the terms and conditions herein set forth. The *City*, *Owner*, and *Developer* are individually or collectively referred to herein as the *Party* or *Parties*.

WHEREAS, the *Owner* is the sole owner of a parcel of real property approximately 20.83-acres of land [the *Subject Property*] in Rockwall County, Texas, which is located within the City of Rockwall's Extraterritorial Jurisdiction (ETJ) and is more particularly and separately described in the attached Exhibit 'A' of this *Agreement*; and

WHEREAS, the *Developer* intends to develop the 38.012-acre tract of land -- *located directly adjacent to the Subject Property and situated within the corporate limits of the City of Rockwall* -- in accordance with the density and dimensional requirements and Concept Plan [the *Concept Plan*] -- *incorporated in draft ordinance in Exhibit 'B' of this Agreement* -- contained in Planned Development District 91 (PD-91) [*Ordinance No. 21-17*] [the *PD Ordinance*]; and

WHEREAS, the *Parties* desire to establish certain commitments to be imposed and made in connection with the development of the *Subject Property*; to provide increased certainty to the *City* and the *Developer* concerning the development rights, entitlements, arrangements, and commitments, including the obligations and duties of the *Owner*, *Developer*, and the *City* and to identify the planned land uses and permitted intensity of the development of the *Subject Property* before and after annexation as provided in this *Agreement*, as allowed by the applicable laws including, but not limited to Section 212.172 of the Texas Local Government Code; and

WHEREAS, the *Owner* anticipates selling the *Subject Property* to the *Developer*, with the expected closing date to occur within 60-days of the completion of the annexation and zoning of the *Subject Property* in a manner acceptable to all *Parties* [the actual closing date is hereinafter referred to as the *Closing*]; and

WHEREAS, the *Owner* and *Developer* desire the *City* to annex and zone the *Subject Property*, amending the *PD Ordinance* to include the *Subject Property* [the *Zoning Change*]; and

WHEREAS, the *Parties* desire to obtain the benefits of certainty and predictability that can be provided by a Development Agreement for property that is situated within the Extraterritorial Jurisdiction (ETJ) of the *City*; and

WHEREAS, this *Agreement* is entered into pursuant to Sections 43.035 and 212.172 of the Texas Local Government Code, in order to address the desires of all *Parties* and the procedures of the *City*; and

WHEREAS, the *Parties* acknowledge and agree that this *Agreement* constitutes a petition for the voluntary annexation of the *Subject Property* under the provisions of Subchapter C-3, Chapter 43, Texas Local Government Code, and within ten (10) calendar days of the *Effective Date* of this *Agreement*, the *Owner* shall submit a letter requesting voluntary annexation that will be subject to the *Developer* closing on the *Subject Property* [the *Annexation Request*], and the *Developer* shall bear all costs associated therewith, for the *Subject Property* in accordance with Section 212.0671 of the Texas Local Government Code, and said *Annexation Request* shall include any and all documents, signatures and/or other information required by Texas law and/or the *City's* ordinances, rules and regulations, as they exist, may be amended or in the future arising, and upon the request of the *City*, the *Owner* shall promptly execute all other applications and documentation required by Texas law to petition for annexation as required by Texas law; and

WHEREAS, the *Owner* agrees to the written agreement regarding services [the *Municipal Service Agreement*] contained in *Exhibit 'C'* of this *Agreement* that outlines the provision of municipal services as required by Section 43.0672 of the Texas Local Government Code; and

WHEREAS, after submission of a completed *Annexation Request* by the *Owner*, the *City* will place the *Annexation Request* and *Zoning Change* on the next available City Council agenda for its consideration and possible action, in accordance with Subchapter C-3, Chapter 43 and Section 212.172(b) of the Texas Local Government Code, which if approved will annex the *Subject Property* into the corporate limits of the City of Rockwall and zone it in accordance with this *Agreement* after the *City* completes all applicable procedures and public hearing(s) required by Texas law (the approved ordinance shall be known as the *Annexation Ordinance*); and

WHEREAS, the City Council has investigated and determined that it is in the best interest of the City and its citizens to enter into this *Agreement*; and

WHEREAS, this *Agreement* is to be recorded in the *Real Property Records* of Rockwall County, Texas at the expense of the *City*;

NOW, THEREFORE, IN CONSIDERATION OF THE MUTUAL COVENANTS CONTAINED HEREIN, THE PARTIES HERETO AGREE AS FOLLOWS:

SECTION 1. DEFINITIONS, PURPOSE, CONSIDERATION, AND AUTHORITY

- 1.1. Definitions. Any terms which are used herein, and which are defined in the Municipal Code of Ordinances of the City of Rockwall [the *City Code*], shall have the meaning ascribed to them in the *City Code* unless same are expressly defined otherwise in this *Agreement* and the definition contained herein shall control.
- 1.2. General Benefits. The *Developer* will benefit from the certainty and assurance of the approvals and development regulations applicable to the development of the *Subject Property* pursuant to the terms of this *Agreement*. The *Developer* has voluntarily elected to enter into and accept the terms and benefits of this *Agreement* and will benefit from: [1] the certainty and assurance of the development and use of the *Subject Property* in accordance with this *Agreement*, and [2] the establishment of regulations applicable to the development of the *Subject Property* pursuant to the terms of this *Agreement*. The *City* will directly benefit from this *Agreement* by virtue of its control over the development standards for the *Subject Property*. The *Parties* expressly confirm and agree that development of the *Subject Property* will be best accomplished through this *Agreement* and will substantially advance the legitimate interests of the *City*. The *City*, by approval of this *Agreement*, further find that the execution and implementation of this *Agreement* is not inconsistent or in conflict with any of the policies, plans, or ordinances of the *City*.
- 1.3. Acknowledgement of Consideration. The benefits to the *Parties* set forth above, plus the mutual promises expressed herein, are good and valuable consideration for this *Agreement*, the sufficiency of which is hereby acknowledged by the *Parties*. The *City* acknowledges that the *Developer* will proceed with the development of the *Subject Property* in reliance upon the terms of this *Agreement*. The *City* acknowledges and agrees that the enforcement of the terms of this *Agreement* would not interfere with or impede the exercise or performance of any governmental function of the *City*.
- 1.4. Authority. This *Agreement* is entered into, in part, under the statutory authority of Section 212.172 of the Texas Local Government Code, which authorizes the *City* to make written contracts with owners of land establishing lawful terms and considerations that the *Parties* agree to be reasonable, appropriate, and not unduly restrictive of business activities.

SECTION 2. ANNEXATION AND ZONING AGREEMENT

- 2.1. In exchange for the approvals and relief set forth in this *Agreement*, the *Owner* and *Developer* consent to and request the *City* approve annexation and zoning of the *Subject Property* in accordance with the *Municipal Service Agreement* and the *PD Ordinance* within 180-days of the City Council approving this *Agreement*.
- 2.2. The *City* agrees to annex the *Subject Property* into the *City's* corporate limits in accordance with the requirements of Subchapter C-3, *Annexation of Area on Request of Owners*, of Chapter 43, *Municipal Annexation*, of the Texas Local Government Code, and to concurrently zone the *Subject Property* by amending the *PD Ordinance* -- in accordance with the draft ordinance depicted in Exhibit 'B' of this *Agreement* [the *Draft Ordinance*] -- and incorporating the *Subject Property* into the *PD Ordinance*.

SECTION 3. PROPERTY DEVELOPMENT ABSENT ANNEXATION AND ZONING

- 3.1. The *Parties* agree and acknowledge the following:
 - 3.1.1. The *Subject Property* is situated outside of the *City's* corporate boundaries.
 - 3.1.2. The *Subject Property* is situated within the *City's* Extraterritorial Jurisdiction (ETJ).
 - 3.1.3. The *Owner* and the *City* entered into a *Development Agreement* (*Instrument No. 2011-00445924*) [the *Existing Development Agreement*] on January 3, 2011. The *Existing Development Agreement* was originally adopted for a period of seven (7) years until January 3, 2018. The City Council extended this agreement for a subsequent term of seven (7) years on August 7, 2017. This approval extended the term of the *Existing Development Agreement* to January 19, 2025.
- 3.2. The *Parties* further agree and acknowledge that if the *City* elects not to annex and zone the *Subject Property* in accordance with the terms of this *Agreement*, this *Agreement* is in default and the *Subject Property* shall remain outside of the *City's* corporate boundaries and be subject to the terms of the *Existing Development Agreement*.

SECTION 4. ANNEXATION AND ZONING MATTERS

- 4.1. Within ten (10) calendar days of the *Effective Date* of this *Agreement*, the *Owner* shall submit a signed copy of the *Municipal Service Agreement* and the *Annexation Request* for the *Subject Property*. Upon the request of the *City*, the *Owner* and *Developer* shall also submit any necessary applications and/or documentation required by law to request the annexation and zoning of the *Subject Property*. The *Owner* and *Developer* represent and warrant that there are no other parties in possession of any portion of the *Subject Property* and that there will be no other parties in possession of any portion of the *Subject Property* at the time the *Municipal Service Agreement* is submitted to the *City*. The *City* shall facilitate the *Annexation Request* in a diligent and expedient manner. The *Owner* and *Developer* hereby acknowledge and agree that the *City* makes no warranties and/or guarantees with regard to the outcome of the *Annexation Request*.
- 4.2. In accordance with the requirements of this *Agreement* and Section 212.172(b)(8) of the Texas Local Government Code, the *City* shall -- concurrently with the *Annexation Request* -- consider zoning the *Subject Property* by amending the *PD Ordinance* in conformance with the *Draft Ordinance*.
- 4.3. All *Parties* agree and acknowledge that the *Subject Property* is currently used for agricultural purposes and subject to a property tax exemption under Chapter 23, *Appraisal and Assessment*, of the Texas Tax Code. Notwithstanding anything herein to the contrary, the *City* agrees that the *Owner* shall be permitted to continue such agricultural use.

SECTION 5. CLOSING AND FAILURE TO CLOSE ON THE PROPERTY

- 5.1. The *Owner* of the *Subject Property* represents and warrants to the *Developer* and *City* that as of the effective date of this agreement, the *Owner*: [1] is fully authorized to sell the *Subject Property*, without joinder of any other person or entity, and [2] has good and indefeasible fee simple title to the *Subject Property*, free of any liens, security interests, exceptions, conditions, mineral reservations or leases or encumbrances, that could in any way extinguish the *City's* priority lien on the *Subject Property*.
- 5.2. Should the *Owner* and/or *Developer* fail to consummate the sale of the *Subject Property* by the *Closing*, the *City*, *Owner* and *Developer* acknowledge and agree that this *Agreement* is in default and the *Subject Property* shall remain outside of the *City's* corporate boundaries and be subject to the terms of the *Existing Development Agreement*.

SECTION 6. LIMITATIONS OF THE AGREEMENT

- 6.1. The *Parties* hereto acknowledge that this *Agreement* is limited to the matters expressly set forth herein. Any regulations covering property taxes, utility rates, permit fees, inspection fees, development fees, impact fees, tap fees, pro-rata fees, park fees, and the like are not affected by this *Agreement*. Further this *Agreement* does not waive or limit any of the obligations of the *Developer* or *Owner* to the *City* under any of the regulations.

SECTION 7. DEFAULT; TERMINATION; REMEDIES; COOPERATION

7.1. Default and Remedies.

- 7.1.1. If the *City* defaults under this *Agreement* and fails to cure the default within thirty (30) days written notice, *Developer* may, at its sole election, [1] terminate the *Agreement* and be relieved from any and all obligations under this *Agreement*, [2] if the *City* fails to zone the *Subject Property* as required in the *Agreement* pursuant to its zoning discretion, enforce the *Agreement* by seeking specific performance and/ or a writ of mandamus from a Rockwall County District Court, as available under applicable law, and/or [3] seek any and all other remedies available at law or in equity. Prior to exercising its remedies hereunder, the *Developer* shall give notice setting forth the event of default (*as stipulated under Section 8.7, Notice, of this Agreement*) [the *Notice*] to the *City*. If the *City* fails to cure any alleged default within a reasonable period of time, not less than thirty (30) days after the date of the *Notice*, and thereafter to diligently pursue such cure to completion, the *Developer* may exercise its remedies for default.
- 7.1.2. If the *Developer* defaults under this *Agreement*, the *City* shall give written *Notice* to the *Developer*. If the *Developer* fails to commence the cure of an alleged default specified in the *Notice* within a reasonable period of time, not less than thirty (30) days after the date of the *Notice*, and thereafter to diligently pursue such cure to completion, the *City* may seek injunctive relief from a court of proper jurisdiction and/or terminate this *Agreement*.
- 7.1.3. If any *Party* defaults, the prevailing *Party* in the dispute will be entitled to recover from the non-prevailing *Party* its reasonable attorney's fees, expenses and court costs in connection with any original action, any appeals, and any post judgment proceedings to collect or enforce a judgment.

7.2. Cooperation.

- 7.2.1. The *City*, the *Owner*, and the *Developer* all agree to cooperate with each other as may be reasonably necessary to carry out the intent of this *Agreement*, including but not limited to the execution of such further documents as may be reasonably necessary.
- 7.2.2. In the event of any third-party lawsuit or other claim relating to the validity of this *Agreement*, the *City*, the *Owner*, and the *Developer* agree to use their respective best efforts to resolve the suit or claim without diminution in their respective rights and obligations under this *Agreement*.
- 7.2.3. The *Developer*, *Owner*, or *City* may initiate mediation on any issues in dispute and the other *Parties* shall participate in good faith. The cost of mediation shall be a joint expense.

7.3. Termination.

- 7.3.1. This *Agreement* shall terminate upon the earliest occurrence of any one (1) or more of the following as applicable: [1] In the event that the *Developer* fails to submit a timely petition for annexation as stipulated in Section 4.1 of this *Agreement*, the *City* may terminate the *Agreement* after thirty (30) days written notice to the *Developer*, [2] the *Developer* files for bankruptcy, [3] the *Developer* abandons the development, or [4] the development is not substantially complete within five (5) years of the effective date of this *Agreement*.

SECTION 8. GENERAL PROVISIONS

- 8.1. Severability. The provisions of this *Agreement* are severable and -- if any provision of this *Agreement* is held to be invalid for any reason by a court or agency of competent jurisdiction -- the remainder of this *Agreement* will not be affected and this *Agreement* will be construed as if the invalid portion had never been contained herein.
- 8.2. Modifications and Notifications. Any modifications to this *Agreement* must be in writing and signed by individuals authorized to represent each *Party* hereof or its successor, or they shall not be binding upon any of the *Parties* hereto.
- 8.3. Applicable Law; Venue. This *Agreement* will be construed in accordance with the laws of the State of Texas. The venue for any action arising out of this *Agreement* shall be in Rockwall County, Texas.
- 8.4. Successors and Assigns. The terms of this *Agreement* shall be binding upon and inure to the benefit of the *Parties* and their respective successors, assigns, and legal representatives.
- 8.5. No Partnership. Neither this *Agreement*, nor any part thereof, shall be construed as creating a partnership, joint venture, or other business affiliation among the *Parties* or otherwise.
- 8.6. Entire Agreement. This *Agreement* and the appendices hereto supersede any and all other prior or contemporaneous agreements (including the *Existing Agreement*), oral or written, among the *Parties* hereto with respect to the *Subject Property*.
- 8.7. Notices: All notices given with respect to this *Agreement* must be in writing and may be served by depositing same in the United States mail, addressed to the *Party* to be notified, postage pre-paid and registered or certified with return receipt requested, or by delivering the same in person to such party via electronic mail, with documentation evidencing the addressee's receipt thereof, or a hand-delivery service, Federal Express or any courier service that provides a return receipt showing the date of actual delivery of same to the addressee thereof. Notice given in accordance herewith shall be effective upon receipt at the address of the addressee. For purposes of notice, the addresses of the *Parties* shall be as follows:

TO: the City

Address: City of Rockwall
ATTN: Mary Smith, *Interim City Manager*
385 S. Goliad Street
Rockwall, Texas 75087

Phone: (972) 771-7700
Email: msmith@rockwall.com

CC: the City Attorney

Address: City Attorney for the City of Rockwall
Davidson, Troilo, Ream & Garza
ATTN: Frank J. Garza
601 N. W. Loop 410, Suite 100
San Antonio, Texas 78201

Phone: (210) 349-6484
Email: fgarza@dtgrglaw.com

TO: the Owner

Address: Allen and Lisa Stevenson
427 Clem Road
Rockwall, Texas 75007

Phone: (214) 364-3944
Email: allstevenson@gmail.com

TO: the Developer

Address: Skorburg Retail Corporation
ATTN: Adam Buczek
8214 Westchester Drive, Suite 900
Dallas, Texas 75225

Phone: (214) 888-8843
Email: abuczek@sckorburgcompany.com

The *Parties* may change their respective addresses to any other address and their respective successors and assigns names and addresses within the United States of America by giving at least 30-days written notice to the other *Parties*. Any *Party* may, by giving at least 30-days written notice, designate additional parties to receive copies of notices under this *Agreement*.

- 8.8. Enforcement. As permitted by law, this *Agreement* may be enforced by any *Party* through specific performance. All *Parties* shall have the right to cure any default within 30-days after notice of said default having been provided by the non-defaulting *Party* or *Parties*. In the event legal action is necessary to enforce the terms of this *Agreement*, the prevailing *Party* or *Parties* shall be entitled to attorney's fees, court costs, as well as any other damages found by a court of competent jurisdiction to be owned as a result of the breach.
- 8.9. Default. Failure by any *Party* to timely and substantially comply with any performance requirement, duty, or covenant of this *Agreement* shall be considered an act of default if uncured within 30-days of receiving written notice from the other *Party* or *Parties*. Failure of the *Developer* or *Owner* to timely begin attempts to cure a

default will give the *City* the right to terminate this *Agreement*, as solely and finally determined by the City Council of the City of Rockwall, Texas.

- 8.10. INDEMNITY. THE *DEVELOPER* COVENANTS AND AGREES TO FULLY INDEMNIFY AND HOLD HARMLESS THE *CITY* (AND THEIR ELECTED OFFICIALS, EMPLOYEES, OFFICERS, DIRECTORS, AND REPRESENTATIVES), INDIVIDUALLY AND COLLECTIVELY, FROM AND AGAINST ANY AND ALL COSTS, CLAIMS, LIENS, DAMAGES, LOSSES, EXPENSES, FEES, FINES, PENALTIES, PROCEEDINGS, ACTIONS, DEMANDS, CAUSES OF ACTION, LIABILITY, AND SUITS OF ANY KIND AND NATURE BROUGHT BY ANY THIRD PARTY AND RELATING TO DEVELOPER'S ACTIONS IN THIS AGREEMENT, INCLUDING, BUT NOT LIMITED TO, PERSONAL INJURY OR DEATH AND PROPERTY DAMAGE, MADE UPON THE *CITY* OR DIRECTLY OR INDIRECTLY ARISING OUT OF, RESULTING FROM OR RELATED TO THE *DEVELOPER'S* NEGLIGENCE, WILLFUL MISCONDUCT OR OTHER CONDUCT IN ITS ACTIVITIES UNDER THIS AGREEMENT, INCLUDING ANY SUCH ACTS OR OMISSIONS OF THE *DEVELOPER* OR THE *DEVELOPER'S* TENANTS, ANY AGENT, OFFICER, DIRECTOR, REPRESENTATIVE, EMPLOYEE, CONSULTANT OR SUBCONSULTANTS OF THE *DEVELOPER* THE *DEVELOPER'S* TENANTS, AND ITS RESPECTIVE OFFICERS, AGENTS, EMPLOYEES, DIRECTORS AND REPRESENTATIVES WHILE IN THE EXERCISE OR PERFORMANCE OF THE RIGHTS OR DUTIES UNDER THIS AGREEMENT, ALL WITHOUT, HOWEVER, WAIVING ANY GOVERNMENTAL IMMUNITY AVAILABLE TO *CITY* UNDER TEXAS LAW AND WITHOUT WAIVING ANY DEFENSES OF THE PARTIES UNDER TEXAS LAW. THE PROVISIONS OF THIS INDEMNIFICATION ARE SOLELY FOR THE BENEFIT OF THE *CITY* AND ARE NOT INTENDED TO CREATE OR GRANT ANY RIGHTS, CONTRACTUAL OR OTHERWISE, TO ANY OTHER PERSON OR ENTITY. THE *DEVELOPER* SHALL PROMPTLY ADVISE *CITY* IN WRITING OF ANY CLAIM OR DEMAND AGAINST THE *CITY*, RELATED TO OR ARISING OUT OF THE *DEVELOPER* OR THE *DEVELOPER'S* TENANTS' ACTIVITIES UNDER THIS AGREEMENT AND SHALL SEE TO THE INVESTIGATION AND DEFENSE OF SUCH CLAIM OR DEMAND AT THE *DEVELOPER'S* COST TO THE EXTENT REQUIRED UNDER THE INDEMNITY IN THIS PARAGRAPH. THE *CITY* SHALL HAVE THE RIGHT, AT THEIR OPTION AND AT THEIR OWN EXPENSE, TO PARTICIPATE IN SUCH DEFENSE WITHOUT RELIEVING THE *DEVELOPER* OF ANY OF ITS OBLIGATIONS UNDER THIS PARAGRAPH.

IT IS THE EXPRESS INTENT OF THE *PARTIES* TO THIS AGREEMENT THAT THE INDEMNITY PROVIDED FOR IN THIS PARAGRAPH, SHALL NOT BE AN INDEMNITY EXTENDED BY THE *DEVELOPER* TO INDEMNIFY, PROTECT AND HOLD HARMLESS THE *CITY* FROM THE CONSEQUENCES OF THE *CITY'S* OWN NEGLIGENCE OR INTENTIONAL MISCONDUCT. THE INDEMNITY PROVIDED FOR IN THIS PARAGRAPH SHALL APPLY ONLY, TO THE EXTENT OF ANY COMPARATIVE NEGLIGENCE STATUTES AND FINDINGS, WHEN THE NEGLIGENT ACT OF THE *CITY* IS A CONTRIBUTORY CAUSE OF THE RESULTANT INJURY, DEATH, OR DAMAGE, AND IT SHALL HAVE NO APPLICATION WHEN THE NEGLIGENT ACT OF THE *CITY* IS THE SOLE CAUSE OF THE RESULTANT INJURY, DEATH, OR DAMAGE. THE *DEVELOPER* FURTHER AGREES TO DEFEND, AT ITS OWN EXPENSE AND ON BEHALF OF THE *CITY* AND IN THE NAME OF THE *CITY* ANY CLAIM OR LITIGATION BROUGHT AGAINST THE *CITY* (AND ITS ELECTED OFFICIALS, EMPLOYEES, OFFICERS, DIRECTORS AND REPRESENTATIVES), IN CONNECTION WITH ANY SUCH INJURY, DEATH, OR DAMAGE FOR WHICH THIS INDEMNITY SHALL APPLY, AS SET FORTH ABOVE.

IT IS THE EXPRESS INTENT OF THIS SECTION THAT THE INDEMNITY PROVIDED TO THE *CITY* AND THE *DEVELOPER* SHALL SURVIVE THE TERMINATION AND OR EXPIRATION OF THIS AGREEMENT FOR THE APPLICABLE STATUTE OF LIMITATIONS AND SHALL BE BROADLY INTERPRETED AT ALL TIMES TO PROVIDE THE MAXIMUM INDEMNIFICATION OF THE *CITY* AND/OR THEIR OFFICERS, EMPLOYEES AND ELECTED OFFICIALS PERMITTED BY LAW.

- 8.11. Sovereign Immunity. Nothing contained herein shall ever be construed as a waiver of sovereign immunity or waiver of the defenses of the *Parties* provided by law which are reserved herein by the *Parties* as applicable to the fullest extent authorized by law and minimally to the same extent then and there existing prior to the execution hereof.

- 8.12. Mediation. If a dispute arises out of or relates to this *Agreement* or a breach thereof, the *Parties* shall first, in good faith, seek to resolve the dispute through negotiation between the upper management of each respective *Party*. If such dispute cannot be settled through negotiation, the *Parties* agree to try in good faith to settle the dispute by mediation before resorting to arbitration, litigation, or some other dispute resolution procedure; provided that either *Party* may not invoke mediation unless it has provided the other *Party* with written notice of the dispute and has attempted in good faith to resolve such dispute through negotiation. Notwithstanding the foregoing, any *Party* may seek immediate equitable relief, without attempting to settle a dispute through mediation, in any case where such *Party* is entitled to equitable relief by law, the terms of the *Agreement*, or otherwise. All costs of negotiation, mediation, and arbitration, collectively known as alternate dispute resolution, shall be assessed equally between the *City* and *Developer*, with each party bearing their own costs for attorney's fees, experts, and other costs of alternate dispute resolution and any ensuing litigation.
- 8.13. Interpretation. Each of the *Parties* has been represented by counsel of their choosing in the negotiation and preparation of this *Agreement*. Regardless of which *Party* prepared the initial draft of this *Agreement*, this *Agreement* shall, in the event of any dispute, whatever its meaning or application, be interpreted fairly and reasonably and neither more strongly for or against either *Party*.
- 8.14. Additional Instruments. The *City*, *Owner*, and *Developer* warrant that they have the requisite authority to enter into this *Agreement* and agree and covenant to cooperate, negotiate in good faith, and to execute such other and further instruments and documents as may be reasonably required to fulfill the public purposes provided for and included herein.
- 8.15. Authority for Execution. The *City* certifies, represents, and warrants that the execution of this *Agreement* is duly authorized and adopted in conformity with the Texas Local Government Code and all applicable ordinances of the City of Rockwall. The *Developer* and *Owner* hereby certify, represent, and warrant that the execution of this *Agreement* is duly authorized and adopted in conformity with the articles of incorporation and bylaws or partnership agreement executing on behalf of the *Developer* and/or *Owner*.
- 8.16. Recitals Incorporated. The representations, covenants and recitations set forth in the recitals to this *Agreement* are material to this *Agreement* and are hereby found and agreed to be true and correct, and are incorporated into and made a part hereof as though they were fully set forth in the sections of this *Agreement*.
- 8.17. Effective Date; Recordation. This *Agreement* shall be effective on the date upon final approval of the City Council of the City of Rockwall, Texas. This *Agreement*, or a *Memorandum of Agreement* signed by both parties, shall be recorded in the Official Public Records of Rockwall County, Texas within 30-days of the *Effective Date* at the *City's* expense.
- 8.18. Exhibits. The following exhibits are attached to this *Agreement* and incorporated herein by reference:
- (1) Exhibit 'A': *Legal Description of the Subject Property*
 - (2) Exhibit 'B': *Proposed Planned Development District 91 (PD-91)*
 - (3) Exhibit 'C': *Municipal Service Agreement*
- 8.19. Assignment. The terms of this *Agreement* will run with the *Subject Property*, will be binding upon the *Developer* and *Owner* and their permitted assigns, and shall survive judicial or non-judicial foreclosure, for so long as it remains in effect. The *Developer* and *Owner's* rights and obligations under this *Agreement* may be assigned by the *Developer* or *Owner* to one (1) or more purchasers of all or part of the *Subject Property*; provided, the City Council of the City of Rockwall must first be notified of and approve any such assignment by the *Developer* or *Owner* of this *Agreement* including the assignment of any right or duty of the *Developer* or *Owner* pursuant to this *Agreement*. Notwithstanding the foregoing sentence, the *Developer* may assign this *Agreement* to an affiliate of the *Developer* or Richard M. Skorburg Interests, Inc (dba "Skorburg Company") without obtaining approval from the City Council of the City of Rockwall, but the *Developer* must provide written notice of the assignment and such notice shall represent that the assignee understands and accepts the terms and

conditions of this *Agreement*. Any assignment requires the assignee comply with all terms and conditions of this *Agreement* and such assignment must reflect that assignee agrees in writing. This *Agreement* is not intended to be binding upon, or create any encumbrance to title as to, any ultimate consumer who purchases a fully developed and improved single-family lot within the *Subject Property*, nor is it intended to confer upon such person the status of a third-party beneficiary.

- 8.20. *Term*. The term of this *Agreement* will commence on the *Effective Date* and continue for 180-days, unless terminated on an earlier date under other provisions of this *Agreement* or by written agreement of the *City*, *Owner*, and *Developer*. Following the initial term, upon the expiration of this *Agreement*, any and all rights pursuant to this *Agreement* shall expire; provided this *Agreement* will terminate if: (a) the *Developer* or *Owner* defaults in the performance of this *Agreement* and the default is not timely cured as provided in this *Agreement*; (b) the *Developer* or *Owner* defaults in the performance of any other contract or agreement between the *Parties* regarding or applicable to the development of the *Subject Property* and the default is not timely cured within the time provided for cure in this *Agreement*; or (c) the *Subject Property* is annexed and zoned in accordance with the terms of this *Agreement*.

THE CITY: THE CITY OF ROCKWALL, TEXAS

Mary Smith
Mary Smith, Interim City Manager

Frank Garza
Frank Garza, City Attorney

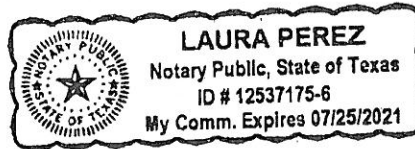
ACKNOWLEDGMENT

THE STATE OF TEXAS §
COUNTY OF DALLAS/ROCKWALL §

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Mary Smith known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 24 day of June, 2021.

Laura Perez
NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS



7-25-2021
MY COMMISSION EXPIRES

THE OWNER: ALLEN AND LISA STEVENSON

Allen Stevenson
Allen Stevenson

Lisa Stevenson
Lisa Stevenson

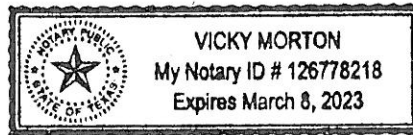
ACKNOWLEDGMENT

THE STATE OF TEXAS §
COUNTY OF DALLAS/ROCKWALL §

BEFORE ME, the, undersigned, a Notary Public in and for said County and State, on this day personally appeared Allen + Lisa Stevenson, known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 24 day of June, 2021.

Vicky Morton
NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS



March 8, 2023
MY COMMISSION EXPIRES

THE DEVELOPER: SKORBURG RETAIL CORPORATION

Adam Buczek
Adam Buczek, Authorized Signer

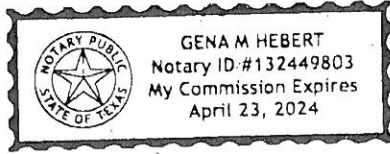
ACKNOWLEDGMENT

THE STATE OF TEXAS §
COUNTY OF DALLAS/ROCKWALL §

BEFORE ME, the, undersigned, a Notary Public in and for said County and State, on this day personally appeared ADAM BUCZEK, known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 22ND day of JUNE, 2021.

Genam Hebert
NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS



4/23/2024
MY COMMISSION EXPIRES

Exhibit 'A':

Legal Description of the Subject Property

BEING a tract or parcel of Land situated in the William Dalton Survey, Abstract No. 72, Rockwall County, Texas, and being part of an 80.00-acre tract conveyed to E. L. Adams by T. H. Adams, by deed recorded in *Volume 11, Page 475*, Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at an iron rod in a County Road and at the northwest corner of the above-mentioned 80.00-acre tract;

THENCE North 89 Degrees 50 Minutes 30 Seconds East, a distance of 684.33-feet along said Country Road to an iron rod for a corner, said iron rod bears South 89 Degrees 50 Minutes 30 Seconds West, a distance of 661.40-feet from the northeast corner of said 80.00-acre tract;

THENCE South 00 Degrees 16 Minutes 03 Seconds East, a distance of 1,319.86-feet traversing said 80.00-acre tract to an iron rod for a corner;

THENCE South 89 Degrees 22 Minutes 53 Seconds West, a distance of 687.71-feet to an iron rod for a corner on the west line of said 80.00-acre tract and at the northeast corner of Meadowview Ranch Estates, an addition to the County of Rockwall;

THENCE North 00 Degrees 07 Minutes 17 Seconds West, a distance of 1,325.38 feet along the west line of said 80.00-acre tract to the *POINT OF BEGINNING* and containing 20.83-acres of land.

CITY OF ROCKWALL

ORDINANCE NO. ~~21-17~~

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT 91 (PD-91) FOR SINGLE-FAMILY 16 (SF-16) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 58.842-ACRE TRACT OF LAND IDENTIFIED AS TRACT 17 & 17-01 OF THE W. M. DALTON SURVEY, ABSTRACT NO. 72, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Kevin Harrell of the Skorburg Co. on behalf of Mark Taylor, Alex Freeman and Allen and Lisa Stevenson for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 16 (SF-16) District land uses, on a 58.842-acre tract of land identified as Tract 17 & 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 91 (PD-91) [*Ordinance No. 21-17*] and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

Exhibit 'B':

Proposed Planned Development District 91 (PD-91)

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.
- (g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the

Exhibit 'B':

Proposed Planned Development District 91 (PD-91)

valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE [] DAY OF [], 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading:

2nd Reading:

Exhibit 'B':
Proposed Planned Development District 91 (PD-91)

Exhibit 'A':
Legal Description

Tract 1 (±26.012-Acres)

All that certain lot, tract or parcel of land situated in the William Dalton Survey, Abstract No. 72, Rockwall County, Texas. Being a part of that certain tract of land conveyed to Glen D. Walker and wife, Nita A. Walker, recorded in *Volume 542, Page 12*, Real Property Records, Rockwall County, Texas, and being described by metes and bounds as follows:

BEGINNING at a 60D nail found for corner at the intersection near the center of Clem Road and the recognized southeast line of FM-1141, said point being the northwest corner of herein described tract;

THENCE North 89 Degrees 06 Minutes 09 Seconds East, within said Clem Road and the recognized north line of said *Walker Tract*, a distance of 533.77-feet to a point for corner, said point being the northeast corner of herein described tract and the northwest corner of a tract of land described in deed to Mark G. and Jessica K. Taylor, recorded in *Volume 7106, Page 191*, Official Public Records, Rockwall County, Texas;

THENCE South 01 Degrees 23 Minutes 21 Seconds West, along the west line of said *Taylor Tract*, passing a ½-inch iron rod found with yellow cap stamped *BG&A RPLS 5569* for witness at a distance of 17.18-feet and continuing for a total distance of 283.63-feet to a 4-inch metal fence corner for angle point;

THENCE South 05 Degrees 06 Minutes 43 Seconds West, along the west line of said *Taylor Tract*, a distance of 113.32-feet to a 4-inch metal fence corner for angle point;

THENCE South 05 Degrees 35 Minutes 13 Seconds West, along the west line of said *Taylor Tract*, a distance of 597.75-feet to a ½-inch iron rod found with yellow cap stamped *BG&A RPLS 5569* for corner, said point being an inner ell corner of herein described tract and the southwest corner of said *Taylor Tract*;

THENCE North 89 Degrees 06 Minutes 09 Seconds East, along the south line of said *Taylor Tract*, a distance of 574.09-feet to a ½-inch iron rod found with yellow cap stamped *BG&A RPLS 5569* for corner in the west line of a tract of land conveyed to Allen and Lisa Stevenson, recorded in *Volume 171, Page 885*, Real Property Records, Rockwall County, Texas, said point being the southeast corner of said *Taylor Tract* and the most southerly northeast corner of herein described tract;

THENCE South 00 Degrees 06 Minutes 20 Seconds East along the recognized east line of said *Walker Tract* and the west line of said *Stevenson Tract* a distance of 334.12-feet to a 3/8-inch iron rod found for corner, the apparent northeast corner of Lot 5 of Meadowview Ranch Estates, recorded in *Cabinet A, Slide 247*, Plat Records, Rockwall county, Texas, said point being the recognized southeast corner of said *Walker Tract* and the apparent southwest corner of said *Stevenson Tract*;

THENCE South 89 Degrees 13 Minutes 16 Seconds West, along the recognized south line of said *Walker Tract*, a distance 510.41-feet to a 3/8-inch iron rod found for angle point;

THENCE North 89 Degrees 58 Minutes 55 Seconds West, along the recognized south line of said *Walker Tract*, a distance of 778.67-feet to a ½-inch iron rod set with yellow cap stamped *BG&A RPLS 5569* for corner in the recognized east line of said FM-1141, said point being the southwest corner of herein described tract;

THENCE North, along the recognized east line of said highway, passing a 60D nail found on a wood highway monument for witness at a distance of 734.11-feet and continuing for a total distance of 810.94-feet to a ½-inch iron rod set with yellow cap stamped *BG&A RPLS 5569* at the beginning of a curve to right having a central angle of 39 Degrees 09 Minutes 01 Seconds, a radius of 533.14-feet and a chord bearing and distance of North 19 Degrees 34 Minutes 34 Seconds East - 357.25-feet;

THENCE along the recognized southeast line of said highway and said curve to the right an arc length of 364.29-feet to a ½-inch iron rod set with yellow cap stamped *BG&A RPLS 5569* at the end of said curve;

THENCE North 39 Degrees 09 Minutes 00 Seconds East along the recognized southeast line of said highway, a distance of 215.67-feet to the place of beginning and containing 1,133,124.22 square-feet or 26.012-acres of land.

Exhibit 'B':
Proposed Planned Development District 91 (PD-91)

Tract 2 (±12.0-Acres)

All that certain lot, tract or parcel of land situated in the William Dalton Survey, Abstract No. 72, Rockwall County, Texas, being a part of that certain tract of land conveyed to Glen D. Walker and wife, Nita A. Walker, recorded in *Volume 542, Page 12*, Real Property Records, Rockwall County, Texas, and being described by metes and bounds as follows:

BEGINNING at a point for corner near the center of Clem Road, said point being the northeast corner of said *Walker Tract* and the northwest corner of a tract of land conveyed to Allen and Lisa Stevenson, recorded in *Volume 171, Page 885*, Real Property Records, Rockwall County, Texas, from which a ½-inch iron rod found for witness bears South 00 Degrees 06 Minutes 20 Seconds East - 17.25-feet;

THENCE South 00 Degrees 06 Minutes 20 Seconds East along the east line of said *Walker Tract* and the west line of said *Stevenson Tract* a distance of 990.13-feet to a ½-inch iron rod set with yellow cap stamped *BG&A RPLS 5569* for corner;

THENCE South 89 Degrees 06 Minutes 09 Seconds West a distance 574.09-feet to a ½-inch iron rod set with yellow cap stamped *BG&A RPLS 5569* for corner;

THENCE North 05 Degrees 35 Minutes 13 Seconds East a distance of 597.75-feet to a 4-inch metal fence corner for angle point;

THENCE North 05 Degrees 06 Minutes 43 Seconds East a distance of 113.32-feet to a 4-inch metal fence corner for angle point;

THENCE North 01 Degrees 23 Minutes 21 Seconds East a distance of 283.63-feet to a point for corner in the north line of said *Walker Tract*, said point being near the center of Clem Road from which a ½-inch iron set with yellow cap stamped *BG&A RPLS 5569* for witness bears South 01 Degrees 23 Minutes 21 Seconds West - 17.18-feet;

THENCE North 89 Degrees 06 Minutes 09 Seconds East along the north line of said *Walker Tract* and within said Clem Road a distance of 497.09-feet to the *PLACE OF BEGINNING* and containing 522,720.00 square-feet or 12.000-acres of land.

Tract 3 (±20.83-Acres)

BEING a tract or parcel of Land situated in the William Dalton Survey, Abstract No. 72, Rockwall County, Texas, and being part of an 80.00-acre tract conveyed to E. L. Adams by T. H. Adams, by deed recorded in *Volume 11, Page 475*, Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at an iron rod in a County Road and at the northwest corner of the above-mentioned 80.00-acre tract;

THENCE North 89 Degrees 50 Minutes 30 Seconds East, a distance of 684.33-feet along said Country Road to an iron rod for a corner, said iron rod bears South 89 Degrees 50 Minutes 30 Seconds West, a distance of 661.40-feet from the northeast corner of said 80.00-acre tract;

THENCE South 00 Degrees 16 Minutes 03 Seconds East, a distance of 1,319.86-feet traversing said 80.00-acre tract to an iron rod for a corner;

THENCE South 89 Degrees 22 Minutes 53 Seconds West, a distance of 687.71-feet to an iron rod for a corner on the west line of said 80.00-acre tract and at the northeast corner of Meadowview Ranch Estates, an addition to the County of Rockwall;

THENCE North 00 Degrees 07 Minutes 17 Seconds West, a distance of 1,325.38 feet along the west line of said 80.00-acre tract to the *POINT OF BEGINNING* and containing 20.83-acres of land.

Exhibit 'B':
Proposed Planned Development District 91 (PD-91)

Exhibit 'B':
Location Map



Exhibit 'B':
Proposed Planned Development District 91 (PD-91)

Exhibit 'D':
Density and Dimensional Standards

Density and Development Standards.

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 16 (SF-16) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* of this ordinance.
- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 16 (SF-16) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 1.67 dwelling units per gross acre of land; however, in no case should the proposed development exceed 98 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

Minimum Lot Width ⁽¹⁾	90'
Minimum Lot Depth	100'
Minimum Lot Area	16,000 SF
Minimum Front Yard Setback ^{(2) & (5)}	25'
Minimum Side Yard Setback	8'
Minimum Side Yard Setback (Adjacent to a Street) ^{(2) & (5)}	10'
Minimum Length of Driveway Pavement	25'
Maximum Height ⁽³⁾	36'
Minimum Rear Yard Setback ⁽⁴⁾	10'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space] ⁽⁶⁾	3,000 SF
Maximum Lot Coverage	60%

General Notes:

- ^{1:} Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
 - ^{2:} The location of the *Front Yard Building Setback* as measured from the front property line.
 - ^{3:} The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
 - ^{4:} The location of the *Rear Yard Building Setback* as measured from the rear property line.
 - ^{5:} Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
 - ^{6:} A maximum of ten (10) percent of the lots may have a minimum area/dwelling unit of 2,800 SF [Air-Conditioned Space].
- (4) Building Standards. All development shall adhere to the following building standards:
- (a) Masonry Requirement. The minimum masonry requirement for the total exterior façade area of all buildings shall be 90% (*excluding dormers and walls over roof areas*); however, no individual façade shall be less than 85% masonry. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and stucco (*i.e. three [3] part stucco or a comparable -- to be determined by staff*) may be used for up to 50% of the masonry requirement; however, stucco (*i.e. three [3] part stucco or a comparable -- to be*

Exhibit 'B':

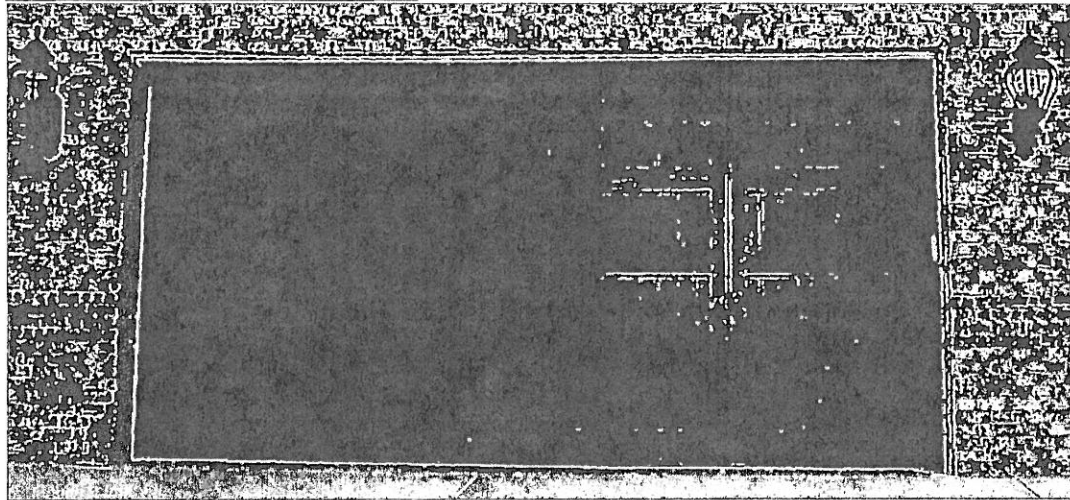
Proposed Planned Development District 91 (PD-91)

determined by staff) shall be permitted through a Specific Use Permit (SUP) only. Excluding dormers and walls over roof areas, siding products (e.g. *HardiBoard* or *Hardy Plank*) shall not be visible on homes abutting any major thoroughfare (i.e. *FM-1141* as shown on *Exhibit 'C'* of this ordinance).

- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. Garages shall be oriented in a *traditional swing* (or *j-swing*) (i.e. where the two (2) car garage is situated facing the side property line and the driveway swings into the garage in a 'J' configuration). On *traditional swing* (or *j-swing*) garage configurations, a second single or double garage door facing the street is permitted if it is located behind the width of the double garage door. All garage configurations not conforming to this section shall meet the requirements of Article 09, *Parking and Loading*, of the Unified Development Code (UDC).

All garage doors shall be required to have decorative wood doors or wood overlays on insulated metal doors. The design between the garage door and home shall use the same or complementary colors and materials. All garages shall include carriage style hardware. An example of carriage style hardware is depicted in *Figure 1*.

Figure 1. Examples of Enhanced Garage Door



- (5) Anti-Monotony Restrictions. The development shall adhere to the following *Anti-Monotony* standards:
 - (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
 - (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, *FM-1141*, or *Clem Road* shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout

Exhibit 'B':
Proposed Planned Development District 91 (PD-91)

- (3) Roof Type and Layout
- (4) Articulation of the Front Façade

- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 3: Properties line up on the opposite side of the street. Where RED is the subject property.

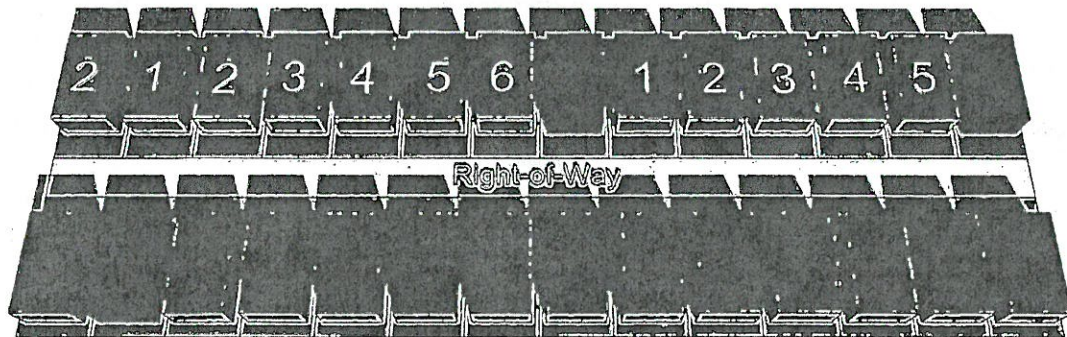
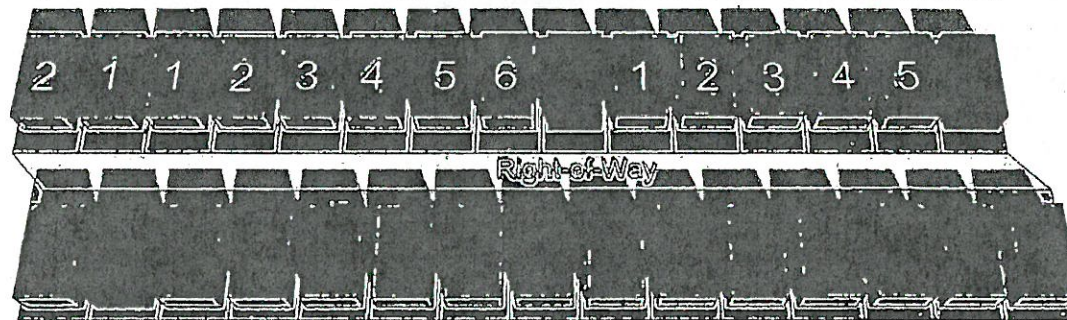


Figure 4: Properties do not line up on opposite side of the street. Where RED is the subject property.



- (6) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
 - (a) Front Yard Fences. Front yard fences shall be prohibited.
 - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.

Exhibit B:

Proposed Planned Development District 91 (PD-91)

- (c) Wrought Iron/Tubular Steel. Lots located along the perimeter of roadways (*i.e. FM-1141 and Clem Road*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
- (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
- (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
- (7) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
- (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
- (1) Landscape Buffer and Sidewalks (FM-1141). A minimum of a 30-foot landscape buffer shall be provided along FM-1141 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering six (6) foot sidewalk shall be constructed within the 30-foot landscape buffer.
- (2) Landscape Buffers (Clem Road). A minimum of a 30-foot landscape buffer shall be provided along Clem Drive (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering five (5) foot sidewalk shall be constructed within the 30-foot landscape buffer.
- (3) Landscape Buffers (Southern Property Line). A minimum of a 10-foot landscape buffer shall be incorporated at the rear of the residential lots that back to the southern property line of the subject property. This landscape buffer shall incorporate a solid living screen utilizing evergreen trees -- *either Eastern Red Cedar or Leland Cypress unless approved otherwise approved by the Director of Planning and Zoning* --, a minimum of four (4) caliper inches in size, that will be planted on 20-foot centers.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.

Exhibit 'B':

Proposed Planned Development District 91 (PD-91)

- (d) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (e) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Street. All streets (excluding drives, fire lanes and private parking areas) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) Open Space. The development shall consist of a minimum of 20% open space (or a minimum of 11.77 -acres -- as calculated by the formula stipulated in the *Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. All open space areas (including landscape buffers) shall be maintained by the Homeowner's Association (HOA).
- (13) Trails. A concrete trail system shall be constructed in generally the same areas and of the same sizes as what is depicted in *Exhibit 'C'* of this ordinance.
- (14) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (15) Homeowner's Association (HOA). A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (including drainage facilities), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development.
- (16) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

MUNICIPAL SERVICES AGREEMENT FOR ANNEXATION

Annexation Case No. A2021-004
City and County of Rockwall, Texas

Acreage Annexed: 20.83-Acres

Survey Abstract and County: Tract 22 of the W. M. Dalton Survey, Abstract No. 72, Rockwall County, Texas

Date of Annexation Request: █

Municipal Services Agreement. In accordance with Section 43.0672 of the Texas Local Government Code, the following agreement outlines the provision and timing of municipal services that will be furnished by or on the behalf of the City of Rockwall, Texas to the subject property which is described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this agreement:

(A) Police Services.

- (1) Patrolling, responses to calls, and other routine police services, within the limits of existing personnel and equipment, will be provided within 60-days of the effective date of annexation.
- (2) As development and construction commence within this area, sufficient police personnel and equipment will be provided to continue to furnish this area the level of police services consistent with police services available in other parts of the City with land uses and population densities similar to those projected in the annexed area.

(B) Fire Services.

- (1) Fire protection by the present personnel and the present equipment of the Fire Department, within the limitations of available water and distances from existing fire stations, will be provided to this area within 60-days of the effective date of annexation.
- (2) As development and construction commences within this area, sufficient fire personnel and equipment will be provided to continue to furnish this area the level of fire services consistent with fire service available in other parts of the City with land uses and population densities similar to those projected in the annexed area.

(C) Health and Code Compliance Services.

- (1) Enforcement of the City's health ordinances and regulations including, but not limited to, weed and brush ordinances, junked and abandoned vehicle ordinances, food handlers' ordinances and animal control ordinances, shall be provided within this area on the effective date of the annexation ordinance. These ordinances and regulations will be enforced through the use of existing personnel. Complaints of ordinance or regulation violations within this area will be responded and investigated by existing personnel beginning with the effective date of the annexation ordinance.
- (2) The City's building, plumbing, electrical, gas heating, air conditioning and all other construction codes will be enforced within this area beginning with the effective date of the annexation ordinance. Existing personnel will be used to provide these services.
- (3) The City's zoning, subdivision, and other ordinances shall be enforced in this area beginning on the effective date of the annexation ordinance.
- (4) All inspection services furnished by the City of Rockwall, but not mentioned above, will be provided to this area beginning on the effective date of the annexation ordinance. Any property owner or his/her assigns who in good faith has a new building or structure, as defined in the Comprehensive Zoning Ordinance, under construction on the effective date of annexation shall be exempted from these inspections for that

Exhibit 'C':
Municipal Service Agreement

building or structure under construction for a period of one year from the effective date of annexation. For the purpose of this ordinance "under construction" shall mean any work that requires a building permit from the City of Rockwall.

- (5) As development and construction commence within this area, sufficient personnel will be provided to continue to furnish this area the same level of Health and Code compliance services as are furnished throughout the City.

(D) Planning and Zoning Services

- (1) The planning and zoning jurisdiction of the City will extend to this area on the effective date of the annexation ordinance. City planning will thereafter encompass this property, and it shall be entitled to consideration for zoning in accordance with the City's Comprehensive Plan, Unified Development Code (UDC) [i.e. Zoning Ordinance], and Municipal Code of Ordinances.

(E) Recreation and Leisure Services

- (1) Residents of this property may utilize all existing recreational and leisure services facilities and sites throughout the City beginning with the effective date of the annexation ordinance.
- (2) Existing parks, playgrounds, swimming pools and other recreation and leisure facilities within this property shall, upon dedication to and acceptance by the City, be maintained and operated by the City of Rockwall.

(F) Solid Waste Collection

- (1) Solid waste collection shall be provided to the property owner in accordance with existing City policies as to frequency and charges, beginning on the effective date of annexation except for properties that are served by a privately-owned solid waste management service provider. Such properties will be allowed to continue private service for a period of two (2) years from the effective date of annexation at which time the property will be required to begin service with a franchised solid waste contractor within the City of Rockwall.

(G) Streets

- (1) The City of Rockwall's existing policies with regard to streets, roads and street/roadway lighting maintenance, applicable throughout the entire City, shall apply to this property beginning immediately as of the effective date of the annexation ordinance.
- (2) As development, improvements or construction of streets to the City standards commence within this property, the policies of the City of Rockwall with regard to impact fees and participation in the cost thereof, acceptance upon completion, and maintenance after completion, shall apply.
- (3) The same level of maintenance shall be provided to public streets and roadways within this property that have been accepted by the City of Rockwall as is provided to like City streets and roadways throughout the City.

(H) Water Services

- (1) Connection to existing City water mains for water services for domestic, commercial and industrial use within this property will be provided in accordance with existing City policies. Upon connection to existing mains, water will be provided at rates established by City ordinance for such services throughout the City.
- (2) Water mains of the City will be extended in accordance with provisions of the Municipal Code of Ordinances and other applicable ordinances and regulations. City participation in the costs of these extensions shall be in accordance with applicable City ordinances and regulations and will be provided as otherwise available in other parts of the City with topography, land uses, population densities similar to

Exhibit 'C':
Municipal Service Agreement

those reasonably contemplated or projected in the annexed area.

- (3) Water mains which are within the annexed area and are owned and operated by the City shall be maintained beginning with the effective date of the annexation ordinance or upon acquisition by the City.
- (4) Private water lines within this property shall be maintained by their owners, in accordance with existing policies applicable throughout the City.

(I) Sanitary Sewer Services

- (1) Connections to existing City sanitary sewer mains for sanitary sewage service in this area will be provided in accordance with the existing City policies. Upon connection, sanitary sewage service will be provided at rates established by City ordinances for such services throughout the City.
- (2) Sanitary sewer mains and/or lift stations which are within the annexed area and are connected to City mains shall be maintained by the City of Rockwall beginning with the effective date of the annexation ordinance or upon acquisition by the City.
- (3) Sanitary sewer mains of the City will be extended in accordance with the provisions of the Municipal Code of Ordinances and engineering standards and other applicable ordinances and regulations. City participation in the costs of these extensions shall be in accordance with applicable City ordinances and regulations and will be provided as otherwise available in other parts of the City with topography, land uses, and population densities similar to those reasonably contemplated or projected in the area.
- (4) Previously granted exceptions to the requirements of connections to the City's sanitary sewer treatment system or Off-Site Sanitary Sewer Facilities (OSSF) constructed prior to annexation shall be continued until such alternate systems are determined to no longer function to meet the sanitary sewer needs of the subdivision granted the exception or for systems installed prior to annexation.

(J) Public Utilities.

- (1) Other public utilities will be provided by the City's franchisee or a provider holding a Certificate of Convenience and Necessity (CCN) issued by the state to serve that area.

(K) Miscellaneous. General municipal administration services of the City shall be available to the annexed area beginning with the effective date of the annexation ordinance.

Exhibit 'C':
Municipal Service Agreement

SUBJECT PROPERTY: TRACT 22 OF THE W. M. DALTON SURVEY, ABSTRACT NO. 72

ALLEN STEVENSON

LISA STEVENSON

ACKNOWLEDGMENT

THE STATE OF TEXAS §
COUNTY OF DALLAS/ROCKWALL §

BEFORE ME, the, undersigned, a Notary Public in and for said County and State, on this day personally appeared _____, known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this ___ day of _____, 2021.

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS

MY COMMISSION EXPIRES

Exhibit 'C':
Municipal Service Agreement

Exhibit 'A':
Legal Description

Survey, Abstract and County: Tract 22 of the W. M. Dalton Survey, Abstract No. 72, Rockwall County, Texas

BEING a tract or parcel of Land situated in the William Dalton Survey, Abstract No. 72, Rockwall County, Texas, and being part of an 80.00-acre tract conveyed to E. L. Adams by T. H. Adams, by deed recorded in *Volume 11, Page 475*, Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at an iron rod in a County Road and at the northwest corner of the above-mentioned 80.00-acre tract;

THENCE North 89 Degrees 50 Minutes 30 Seconds East, a distance of 684.33-feet along said Country Road to an iron rod for a corner, said iron rod bears South 89 Degrees 50 Minutes 30 Seconds West, a distance of 661.40-feet from the northeast corner of said 80.00-acre tract;

THENCE South 00 Degrees 16 Minutes 03 Seconds East, a distance of 1,319.86-feet traversing said 80.00-acre tract to an iron rod for a corner;

THENCE South 89 Degrees 22 Minutes 53 Seconds West, a distance of 687.71-feet to an iron rod for a corner on the west line of said 80.00-acre tract and at the northeast corner of Meadowview Ranch Estates, an addition to the County of Rockwall;

THENCE North 00 Degrees 07 Minutes 17 Seconds West, a distance of 1,325.38 feet along the west line of said 80.00-acre tract to the *POINT OF BEGINNING* and containing 20.83-acres of land.

Exhibit 'C':
Municipal Service Agreement

Exhibit 'B':
Location Map



Filed and Recorded
Official Public Records
Jennifer Fogg, County Clerk
Rockwall County, Texas
07/07/2021 01:43:29 PM
\$150.00
20210000018308



Jennifer Fogg

MUNICIPAL SERVICES AGREEMENT FOR ANNEXATION

Annexation Case No. A2021-004
City and County of Rockwall, Texas

Acreage Annexed: 20.83-Acres

Survey Abstract and County: Tract 22 of the W. M. Dalton Survey, Abstract No. 72, Rockwall County, Texas

Date of Annexation Request: June 22, 2021

Municipal Services Agreement. In accordance with Section 43.0672 of the Texas Local Government Code, the following agreement outlines the provision and timing of municipal services that will be furnished by or on the behalf of the City of Rockwall, Texas to the subject property which is described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this agreement:

(A) *Police Services.*

- (1) Patrolling, responses to calls, and other routine police services, within the limits of existing personnel and equipment, will be provided within 60-days of the effective date of annexation.
- (2) As development and construction commence within this area, sufficient police personnel and equipment will be provided to continue to furnish this area the level of police services consistent with police services available in other parts of the City with land uses and population densities similar to those projected in the annexed area.

(B) *Fire Services.*

- (1) Fire protection by the present personnel and the present equipment of the Fire Department, within the limitations of available water and distances from existing fire stations, will be provided to this area within 60-days of the effective date of annexation.
- (2) As development and construction commences within this area, sufficient fire personnel and equipment will be provided to continue to furnish this area the level of fire services consistent with fire service available in other parts of the City with land uses and population densities similar to those projected in the annexed area.

(C) *Health and Code Compliance Services.*

- (1) Enforcement of the City's health ordinances and regulations including, but not limited to, weed and brush ordinances, junked and abandoned vehicle ordinances, food handlers' ordinances and animal control ordinances, shall be provided within this area on the effective date of the annexation ordinance. These ordinances and regulations will be enforced through the use of existing personnel. Complaints of ordinance or regulation violations within this area will be responded and investigated by existing personnel beginning with the effective date of the annexation ordinance.
- (2) The City's building, plumbing, electrical, gas heating, air conditioning and all other construction codes will be enforced within this area beginning with the effective date of the annexation ordinance. Existing personnel will be used to provide these services.
- (3) The City's zoning, subdivision, and other ordinances shall be enforced in this area beginning on the effective date of the annexation ordinance.
- (4) All inspection services furnished by the City of Rockwall, but not mentioned above, will be provided to this area beginning on the effective date of the annexation ordinance. Any property owner or his/her assigns who in good faith has a new building or structure, as defined in the Comprehensive Zoning Ordinance, under construction on the effective date of annexation shall be exempted from these inspections for that building or structure under construction for a period of one year from the effective date of annexation. For the purpose of this ordinance "under construction" shall mean any work that

- requires a building permit from the City of Rockwall.
- (5) As development and construction commence within this area, sufficient personnel will be provided to continue to furnish this area the same level of Health and Code compliance services as are furnished throughout the City.

(D) Planning and Zoning Services

- (1) The planning and zoning jurisdiction of the City will extend to this area on the effective date of the annexation ordinance. City planning will thereafter encompass this property, and it shall be entitled to consideration for zoning in accordance with the City's Comprehensive Plan, Unified Development Code (UDC) [*i.e. Zoning Ordinance*], and Municipal Code of Ordinances.

(E) Recreation and Leisure Services

- (1) Residents of this property may utilize all existing recreational and leisure services facilities and sites throughout the City beginning with the effective date of the annexation ordinance.
- (2) Existing parks, playgrounds, swimming pools and other recreation and leisure facilities within this property shall, upon dedication to and acceptance by the City, be maintained and operated by the City of Rockwall.

(F) Solid Waste Collection

- (1) Solid waste collection shall be provided to the property owner in accordance with existing City policies as to frequency and charges, beginning on the effective date of annexation except for properties that are served by a privately-owned solid waste management service provider. Such properties will be allowed to continue private service for a period of two (2) years from the effective date of annexation at which time the property will be required to begin service with a franchised solid waste contractor within the City of Rockwall.

(G) Streets

- (1) The City of Rockwall's existing policies with regard to streets, roads and street/roadway lighting maintenance, applicable throughout the entire City, shall apply to this property beginning immediately as of the effective date of the annexation ordinance.
- (2) As development, improvements or construction of streets to the City standards commence within this property, the policies of the City of Rockwall with regard to impact fees and participation in the cost thereof, acceptance upon completion, and maintenance after completion, shall apply.
- (3) The same level of maintenance shall be provided to public streets and roadways within this property that have been accepted by the City of Rockwall as is provided to like City streets and roadways throughout the City.

(H) Water Services

- (1) Connection to existing City water mains for water services for domestic, commercial and industrial use within this property will be provided in accordance with existing City policies. Upon connection to existing mains, water will be provided at rates established by City ordinance for such services throughout the City.
- (2) Water mains of the City will be extended in accordance with provisions of the Municipal Code of Ordinances and other applicable ordinances and regulations. City participation in the costs of these extensions shall be in accordance with applicable City ordinances and regulations and will be provided as otherwise available in other parts of the City with topography, land uses, population densities similar to those reasonably contemplated or projected in the annexed area.
- (3) Water mains which are within the annexed area and are owned and operated by the City shall be maintained beginning with the effective date of the annexation ordinance or upon acquisition by the City.
- (4) Private water lines within this property shall be maintained by their owners, in accordance with existing

policies applicable throughout the City.

(I) Sanitary Sewer Services

- (1) Connections to existing City sanitary sewer mains for sanitary sewage service in this area will be provided in accordance with the existing City policies. Upon connection, sanitary sewage service will be provided at rates established by City ordinances for such services throughout the City.
- (2) Sanitary sewer mains and/or lift stations which are within the annexed area and are connected to City mains shall be maintained by the City of Rockwall beginning with the effective date of the annexation ordinance or upon acquisition by the City.
- (3) Sanitary sewer mains of the City will be extended in accordance with the provisions of the Municipal Code of Ordinances and engineering standards and other applicable ordinances and regulations. City participation in the costs of these extensions shall be in accordance with applicable City ordinances and regulations and will be provided as otherwise available in other parts of the City with topography, land uses, and population densities similar to those reasonably contemplated or projected in the area.
- (4) Previously granted exceptions to the requirements of connections to the City's sanitary sewer treatment system or Off-Site Sanitary Sewer Facilities (OSSF) constructed prior to annexation shall be continued until such alternate systems are determined to no longer function to meet the sanitary sewer needs of the subdivision granted the exception or for systems installed prior to annexation.

(J) Public Utilities.

- (1) Other public utilities will be provided by the City's franchisee or a provider holding a Certificate of Convenience and Necessity (CCN) issued by the state to serve that area.

(K) Miscellaneous.

- (1) General municipal administration services of the City shall be available to the annexed area beginning with the effective date of the annexation ordinance.

SUBJECT PROPERTY: TRACT 22 OF THE W. M. DALTON SURVEY, ABSTRACT NO. 72

Allen Stevenson

ALLEN STEVENSON

Lisa Stevenson

LISA STEVENSON

ACKNOWLEDGMENT

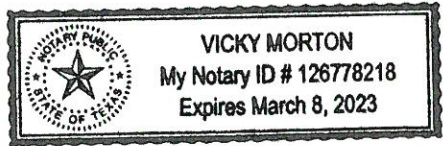
THE STATE OF TEXAS §
COUNTY OF DALLAS/ROCKWALL §

BEFORE ME, the, undersigned, a Notary Public in and for said County and State, on this day personally appeared *Allen + Lisa Stevenson*, known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 24 day of June, 2021.

Vicky Morton

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS



March 8, 2023

MY COMMISSION EXPIRES

Exhibit 'A'
Legal Description

Survey Abstract and County: Tract 1-1 of the P. B. Harrison Survey, Abstract No. 97, Rockwall County, Texas

BEING 6.511 acres of land situated in the P.B. Harrison Survey, Abstract No. 97, Rockwall County, Texas, and all of a called 6.7-acre tract of land described in a Deed to Fred and Betty L. Thompson, recorded Volume 707, Page 71, Deed Records of Rockwall County, Texas (DRRCT), and being more particularly described as follows:

BEGINNING at a 5/8" iron rod with a yellow cap stamped "RPLS 3963" set for corner in the east line of John King Boulevard (160' wide right-of-way) at the northwest corner of said 6.7-acre tract, said point also being in the south right-of-way line of F.M. 552 (80' right-of-way);

THENCE N 89 degrees 19 minutes 27 seconds E, along the south right-of-way line of said F.M. 552, a distance of 681.71feet, to a point for corner at the northwest corner of a called 2.025 acre tract described in a deed to Bertha Silva recorded as Instrument 201200461779, Real Property Records of Rockwall County, Texas, (RPRRCT), as marked by monument and occupied by partial fencing on the west line, from which a 1" solid iron rod found for reference bears S 00 degrees 53 minutes 42 seconds W, a distance of 0.68-feet;

THENCE S 00 degrees 53 minutes 42 seconds W, along the west line of said 2.025-acre tract as occupied and partially fenced, a distance of 420.41-feet, to a point for corner at the southwest corner thereof, from which a 1" solid iron rod found for reference bears S 00 degrees 53 minutes 42 seconds W, a distance of 1.70-feet, said point also being in the north line of a called 12.000-acre tract of land described in a deed to Michael and Stacy Miller recorded as Instrument No. 20170000011122 (RPRRCT).;

THENCE S 89 degrees 27 minutes 59 seconds W, along the common line of said 6.7 acre Thompson tract and said 12.000 acre tract, a distance of 670.81feet, to a point for corner near the edge of a concrete apron, at the northwest corner of said 12.000 acre tract and being in the east right-of-way line of said John King Boulevard, from which a 5/8" iron rod with a yellow cap stamped "RPLS 3963" set for reference bears S 00°04'57" E, a distance of 60-feet;

THENCE N 00 degrees 35 minutes 27 seconds W, along the east right-of-way line of said John King Boulevard and the west line of said 6.7-acre tract a distance of 418.59-feet, to the *POINT OF BEGINNING* and containing 283,640 square-feet or 6.511 acres of land;

Survey Abstract and County: Tract 1-1 of the P. B. Harrison Survey, Abstract No. 97, Rockwall County, Texas

BEING 11.984 acres of land situated in the P.B. Harrison Survey, Abstract No. 97, Rockwall County, Texas, and all of a called 12.00-acre tract of land described in a Warranty Deed to Michael Miller and wife Stacy Miller, recorded as Instrument No. 20170000011122 of the Real Property Records of Rockwall County, Texas (RPRRCT), and this tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner near the edge of Hays Road (an asphalt surface-no dedication found) at the common west corner of a called 15.00-acre tract described in a deed to CDT Rockwall/2017, LLC recorded as Instrument No. 20180000016747 (RPRRCT) and said 12.00 acre;

THENCE North 01°04'57" West, continuing along and near the edge of Hays Road and with the west line of said 12.00 acre tract, a distance of 474.32-feet, to a point for corner near the edge of a concrete apron at the northwest corner thereof, common to the southwest corner of a called 6.7 acre tract of land described in a deed to Fred and Betty L. Thompson, recorded in Volume 707 Page 71 (RPRRCT), from which 1/2" iron rod set for reference bears South 01°04'57" East, distance of 60.00-feet;

THENCE North 89°27'59" East, along the north line of said 12.00 acre tract and partly with the south lines of said 6.7 acre tract and tracts described in separate deeds to Bertha Silva and Roy Kenneth Lambert, recorded as Instrument No. 201200461779 and in Volume 1562, Page 47 (RPRRCT), respectively, for a total distance of 1103.25-feet, to a

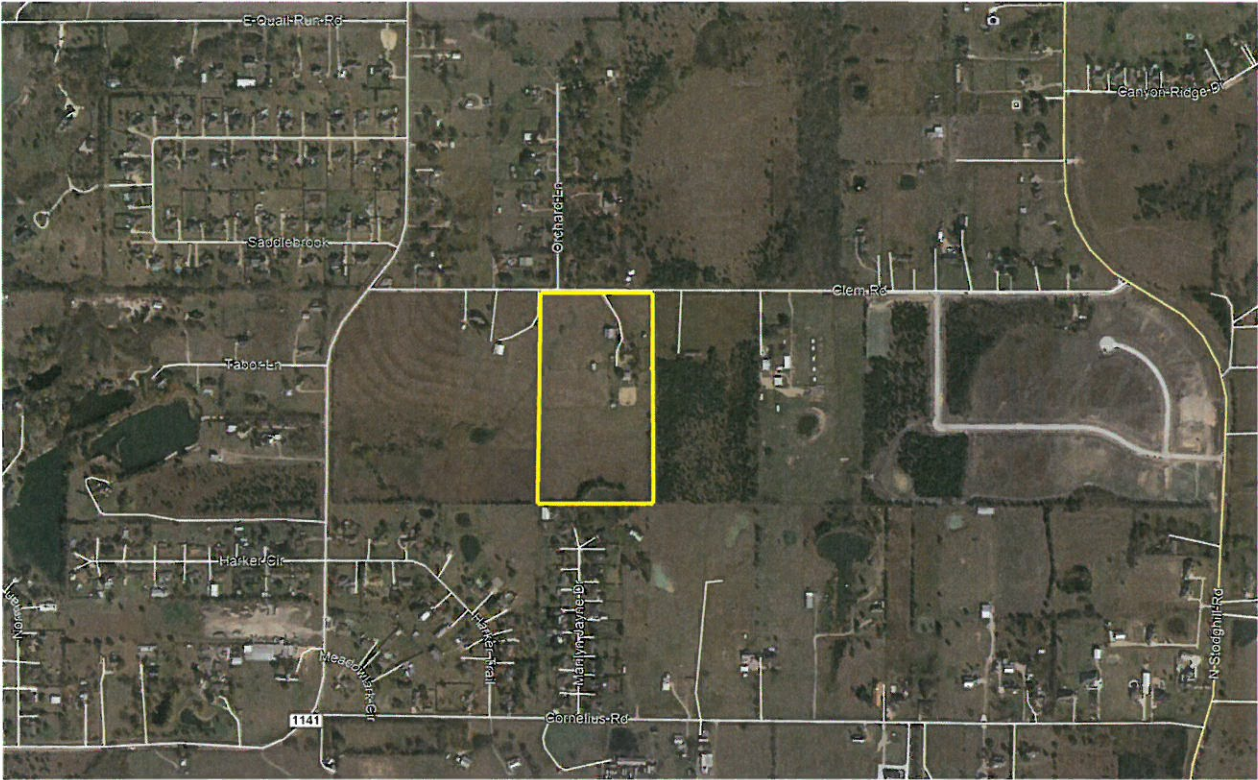
Exhibit 'A'
Legal Description

1/2" iron rod found for corner at the northeast corner of said 12.00 acre tract common to the southeast corner of said Lambert tract, and also being in the west line of Park Ridge Estates, an addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet A, Page 390 of the Plat Records of Rockwall County, Texas {PRRCT};

THENCE South 00°34'56" East, along the common line of said 12.00 tract and said Park Ridge Estates, a distance of 473.81-feet, to a point for corner at the southeast corner of said 12.00-acre tract common to the northeast corner of said 15.00 acre tract, from which a 1/2" iron rod with a yellow cap stamped "5034" found for reference bears South 68°26'26" West, a distance of 0.18-feet;

THENCE South 89°26'26" West, along the common line of last-mentioned tracts, a distance of 1,099.11-feet to *PLACE OF BEGINNING* and Containing 522,019 square-feet, or 11.984 acres of land.

Exhibit 'B'
Location Map



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, GRANTING A REQUEST FOR ANNEXATION AND PROVIDING FOR THE EXTENSION OF MUNICIPAL BOUNDARY LIMITS TO INCORPORATE SUCH PROPERTY INTO THE CITY OF ROCKWALL, TEXAS WITH THE ANNEXATION OF A 20.83-ACRE TRACT OF LAND IDENTIFIED AS TRACT 22 OF THE W. M. DALTON SURVEY, ABSTRACT NO. 72, ROCKWALL COUNTY, TEXAS, WHICH SAID TERRITORY LIES ADJACENT TO AND ADJOINS THE PRESENT BOUNDARY LIMITS OF THE CITY OF ROCKWALL, TEXAS; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the *Subject Property* is a 20.83-acre tract of land identified as Tract 22 of the W. M. Dalton Survey, Abstract No. 72, Rockwall County, Texas, addressed as 427 Clem Road, that lies adjacent to and adjoins the present boundaries of the City of Rockwall, and which is depicted and described in *Exhibit 'A'* of this ordinance; and

WHEREAS, in accordance with Subchapter C-3 of Chapter 43 and Section 212.172(b) of the Texas Local Government Code, the City of Rockwall entered into a *Development Agreement* with Allen and Lisa Stevenson on June 24, 2021; and

WHEREAS, in accordance with the *Development Agreement* the City of Rockwall has received a request from Allen and Lisa Stevenson for the annexation of the subject property on June 24, 2021; and

WHEREAS, Allen and Lisa Stevenson provided the City of Rockwall with a signed copy of the *Municipal Services Agreement* contained in *Exhibit 'B'* of this ordinance on June 24, 2021; and

WHEREAS, in accordance with the requirements of Subchapter C-3, *Annexation of Area on the Request of Owners*, of Chapter 43, *Municipal Annexation*, of the Texas Local Government Code, a public hearing was held before the governing body of the City of Rockwall, Texas, where all interested persons were provided with an opportunity to be heard on July 19, 2021 at 6:00 PM in the City Council Chambers at City Hall, which is located at 385 S. Goliad Street, Rockwall, Texas 75087; and

WHEREAS, notice of such public hearing was published in a newspaper having general circulation in the City of Rockwall, Rockwall County, Texas and in the territory described herein on July 2, 2021 and posted on the City of Rockwall's website on July 1, 2021 said dates being not more than twenty (20) days nor less than ten (10) days prior to the dates of such public hearings;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the above recitals are hereby found to be true and correct and incorporated herein for all purposes.

SECTION 2. The land and territory more specifically described in *Exhibit 'A'* and incorporated by reference as the *Subject Property*, containing 20.83-acres which is adjacent to and adjoining the

present corporate boundaries of the City of Rockwall, Rockwall County, Texas, is hereby added and annexed to the City of Rockwall, Rockwall County, Texas and said territory as described herein shall hereafter be included within the corporate boundary limits of the City of Rockwall, Rockwall County, Texas and the present boundary limits of the City at the various points contiguous to the areas as described above, are altered and amended so as to include said area within the corporate limits of the City.

SECTION 3. That the official map of the City is hereby amended to reflect the addition of the property described herein.

SECTION 4. The above described territory and the acres so annexed shall be a part of the City of Rockwall, Texas, and the inhabitants thereof, if any, shall be entitled to all of the rights and privileges of all citizens and shall be bound by the acts, ordinances, resolutions and regulations of the City of Rockwall, Texas.

SECTION 5. That the *Service Plan* for the annexation area, which was made available for public inspection at the *Public Hearings* referenced above, is hereby approved with a copy of said plan being attached hereto and incorporated by reference for all purposes and labeled *Exhibit 'B'*.

SECTION 6. That if any provision of this Ordinance or the application of any provision to any person or circumstance is held invalid, the invalidity shall not affect other provisions or applications of the Ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are declared to be severable

SECTION 7. That this ordinance shall take effect immediately from and after its passage and approval, in accordance with applicable law and the charter of the City of Rockwall, Texas.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF AUGUST, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 19, 2021

2nd Reading: August 2, 2021

Exhibit 'A'
Legal Description/Location Map

BEING a tract or parcel of Land situated in the William Dalton Survey, Abstract No. 72, Rockwall County, Texas, and being part of an 80-acre tract conveyed to E. L. Adams by T. H. Adams, by deed recorded in *Volume 11, Page 475, Deed Records* of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at an iron rod in a County Road and at the Northwest corner of the above-mentioned 80-acre tract;

THENCE North 89 deg. 50 min. 30 sec. East, a distance of 684.33 feet along said Country Road to an iron rod for a corner, said iron rod bears South 89 deg. 50 min. 30 sec. West, a distance of 661.40 feet from the Northeast Corner of said 80-acre tract;

THENCE South 0 deg. 16 min. 03 sec. East, a distance of 1319.86 feet traversing said 80-acre tract to an iron rod for a corner;

THENCE South 89 deg. 22 min. 53 sec. West, a distance of 687.71 feet to an iron rod for a corner on the West line of said 80-acre tract and at the Northeast corner of Meadowview Ranch Estates, an addition to the County of Rockwall;

THENCE North 0 deg. 07 min. 17 sec. West, a distance of 1325.38 feet along the West line of said 80-acre tract to the *POINT OF BEGINNING* and containing 20.83-acres of land.

Exhibit 'A'
Legal Description/Location Map

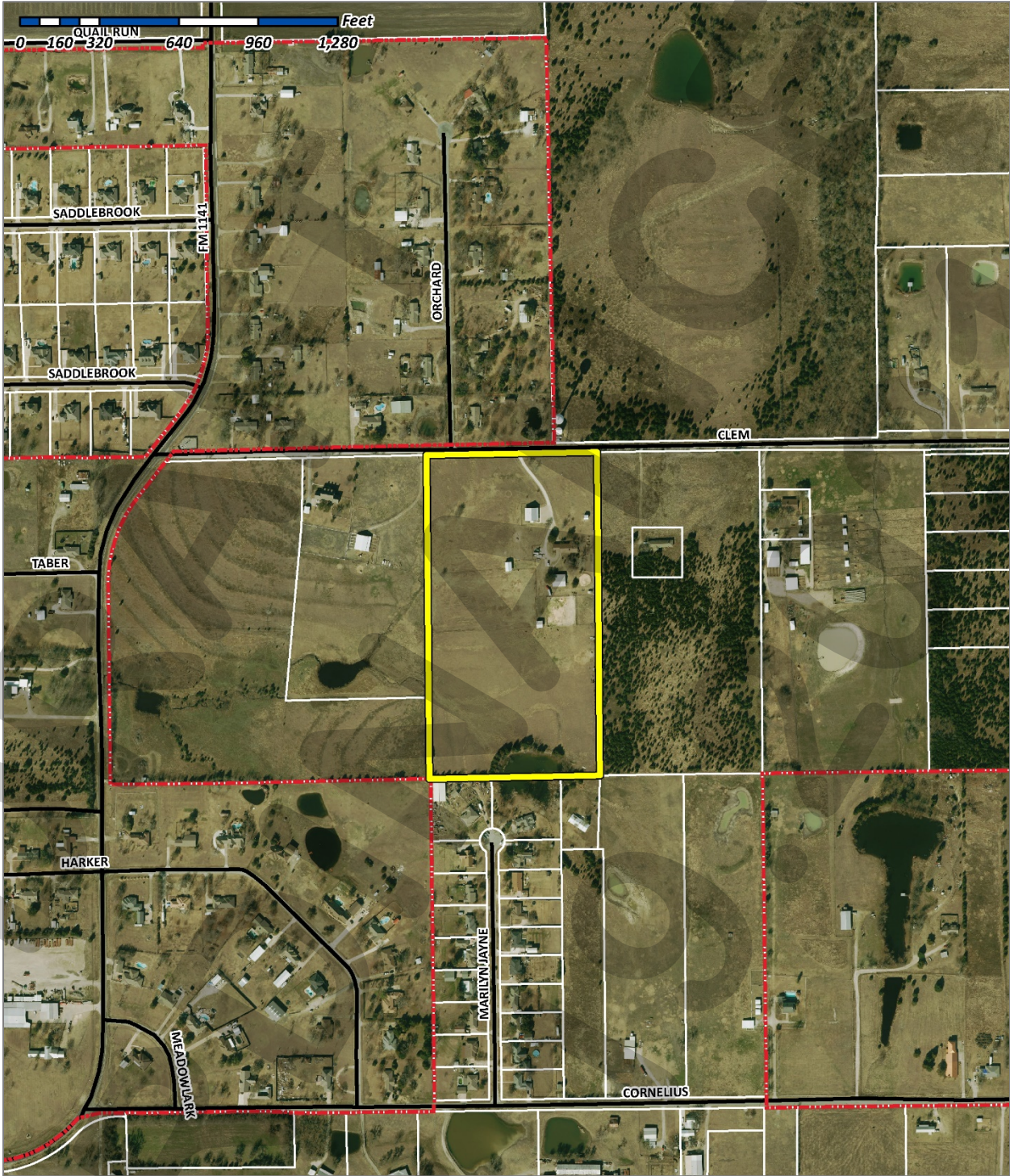


Exhibit 'B'
Service Plan

MUNICIPAL SERVICES AGREEMENT FOR ANNEXATION

Annexation Case No. A2021-004
City and County of Rockwall, Texas

Acreage Annexed: 20.83-Acres

Survey Abstract and County: Tract 22 of the W. M. Dalton Survey, Abstract No. 72, Rockwall County, Texas

Date of Annexation Request: June 24, 2021

Municipal Services Agreement. In accordance with Section 43.0672 of the Texas Local Government Code, the following agreement outlines the provision and timing of municipal services that will be furnished by or on the behalf of the City of Rockwall, Texas to the subject property which is described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this agreement:

(A) *Police Services.*

- (1) Patrolling, responses to calls, and other routine police services, within the limits of existing personnel and equipment, will be provided within 60-days of the effective date of annexation.
- (2) As development and construction commence within this area, sufficient police personnel and equipment will be provided to continue to furnish this area the level of police services consistent with police services available in other parts of the City with land uses and population densities similar to those projected in the annexed area.

(B) *Fire Services.*

- (1) Fire protection by the present personnel and the present equipment of the Fire Department, within the limitations of available water and distances from existing fire stations, will be provided to this area within 60-days of the effective date of annexation.
- (2) As development and construction commences within this area, sufficient fire personnel and equipment will be provided to continue to furnish this area the level of fire services consistent with fire service available in other parts of the City with land uses and population densities similar to those projected in the annexed area.

(C) *Health and Code Compliance Services.*

- (1) Enforcement of the City's health ordinances and regulations including, but not limited to, weed and brush ordinances, junked and abandoned vehicle ordinances, food handlers' ordinances and animal control ordinances, shall be provided within this area on the effective date of the annexation ordinance. These ordinances and regulations will be enforced through the use of existing personnel. Complaints of ordinance or regulation violations within this area will be responded and investigated by existing personnel beginning with the effective date of the annexation ordinance.
- (2) The City's building, plumbing, electrical, gas heating, air conditioning and all other construction codes will be enforced within this area beginning with the effective date of the annexation ordinance. Existing personnel will be used to provide these services.
- (3) The City's zoning, subdivision, and other ordinances shall be enforced in this area

Exhibit 'B'
Service Plan

- beginning on the effective date of the annexation ordinance.
- (4) All inspection services furnished by the City of Rockwall, but not mentioned above, will be provided to this area beginning on the effective date of the annexation ordinance. Any property owner or his/her assigns who in good faith has a new building or structure, as defined in the Comprehensive Zoning Ordinance, under construction on the effective date of annexation shall be exempted from these inspections for that building or structure under construction for a period of one year from the effective date of annexation. For the purpose of this ordinance "under construction" shall mean any work that requires a building permit from the City of Rockwall.
 - (5) As development and construction commence within this area, sufficient personnel will be provided to continue to furnish this area the same level of Health and Code compliance services as are furnished throughout the City.

(D) *Planning and Zoning Services*

- (1) The planning and zoning jurisdiction of the City will extend to this area on the effective date of the annexation ordinance. City planning will thereafter encompass this property, and it shall be entitled to consideration for zoning in accordance with the City's Comprehensive Plan, Unified Development Code (UDC) [*i.e. Zoning Ordinance*], and Municipal Code of Ordinances.

(E) *Recreation and Leisure Services*

- (1) Residents of this property may utilize all existing recreational and leisure services facilities and sites throughout the City beginning with the effective date of the annexation ordinance.
- (2) Existing parks, playgrounds, swimming pools and other recreation and leisure facilities within this property shall, upon dedication to and acceptance by the City, be maintained and operated by the City of Rockwall.

(F) *Solid Waste Collection*

- (1) Solid waste collection shall be provided to the property owner in accordance with existing City policies as to frequency and charges, beginning on the effective date of annexation except for properties that are served by a privately-owned solid waste management service provider. Such properties will be allowed to continue private service for a period of two (2) years from the effective date of annexation at which time the property will be required to begin service with a franchised solid waste contractor within the City of Rockwall.

(G) *Streets*

- (1) The City of Rockwall's existing policies with regard to streets, roads and street/roadway lighting maintenance, applicable throughout the entire City, shall apply to this property beginning immediately as of the effective date of the annexation ordinance.
- (2) As development, improvements or construction of streets to the City standards commence within this property, the policies of the City of Rockwall with regard to impact fees and participation in the cost thereof, acceptance upon completion, and maintenance after completion, shall apply.

Exhibit 'B'
Service Plan

- (3) The same level of maintenance shall be provided to public streets and roadways within this property that have been accepted by the City of Rockwall as is provided to like City streets and roadways throughout the City.

(H) Water Services

- (1) Connection to existing City water mains for water services for domestic, commercial and industrial use within this property will be provided in accordance with existing City policies. Upon connection to existing mains, water will be provided at rates established by City ordinance for such services throughout the City.
- (2) Water mains of the City will be extended in accordance with provisions of the Municipal Code of Ordinances and other applicable ordinances and regulations. City participation in the costs of these extensions shall be in accordance with applicable City ordinances and regulations and will be provided as otherwise available in other parts of the City with topography, land uses, population densities similar to those reasonably contemplated or projected in the annexed area.
- (3) Water mains which are within the annexed area and are owned and operated by the City shall be maintained beginning with the effective date of the annexation ordinance or upon acquisition by the City.
- (4) Private water lines within this property shall be maintained by their owners, in accordance with existing policies applicable throughout the City.

(I) Sanitary Sewer Services

- (1) Connections to existing City sanitary sewer mains for sanitary sewage service in this area will be provided in accordance with the existing City policies. Upon connection, sanitary sewage service will be provided at rates established by City ordinances for such services throughout the City.
- (2) Sanitary sewer mains and/or lift stations which are within the annexed area and are connected to City mains shall be maintained by the City of Rockwall beginning with the effective date of the annexation ordinance or upon acquisition by the City.
- (3) Sanitary sewer mains of the City will be extended in accordance with the provisions of the Municipal Code of Ordinances and engineering standards and other applicable ordinances and regulations. City participation in the costs of these extensions shall be in accordance with applicable City ordinances and regulations and will be provided as otherwise available in other parts of the City with topography, land uses, and population densities similar to those reasonably contemplated or projected in the area.
- (4) Previously granted exceptions to the requirements of connections to the City's sanitary sewer treatment system or Off-Site Sanitary Sewer Facilities (OSSF) constructed prior to annexation shall be continued until such alternate systems are determined to no longer function to meet the sanitary sewer needs of the subdivision granted the exception or for systems installed prior to annexation.

(J) Public Utilities.

- (1) Other public utilities will be provided by the City's franchisee or a provider holding a Certificate of Convenience and Necessity (CCN) issued by the state to serve that area.

(K) Miscellaneous.

Exhibit 'B'
Service Plan

- (1) General municipal administration services of the City shall be available to the annexed area beginning with the effective date of the annexation ordinance.

DRAFT
ORDINANCE
07.19.2021



MEMORANDUM

TO: Mary Smith, Interim City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: July 19, 2021

SUBJECT: Z2021-027; AMENDMENT TO PLANNED DEVELOPMENT DISTRICT 91 (PD-91)

Attachments
Memorandum
Location Map
Concept Plan
Draft Ordinance

Summary/Background Information

Discuss and consider approval of an ordinance amending Planned Development District 91 (PD-91) [*Ordinance No. 21-17*] to incorporate a 20.83-acre tract of land in accordance with a 212 Development Agreement and identified as Tract 22 of the W. M. Dalton Survey, Abstract No. 72, Rockwall County, Texas, addressed as 427 Clem Road, and take any action necessary (1st Reading).

Action Needed

The City Council is being asked to approve, approve with condition, or deny the amendment to Planned Development District 91 (PD-91).



CITY OF ROCKWALL
CITY COUNCIL MEMORANDUM

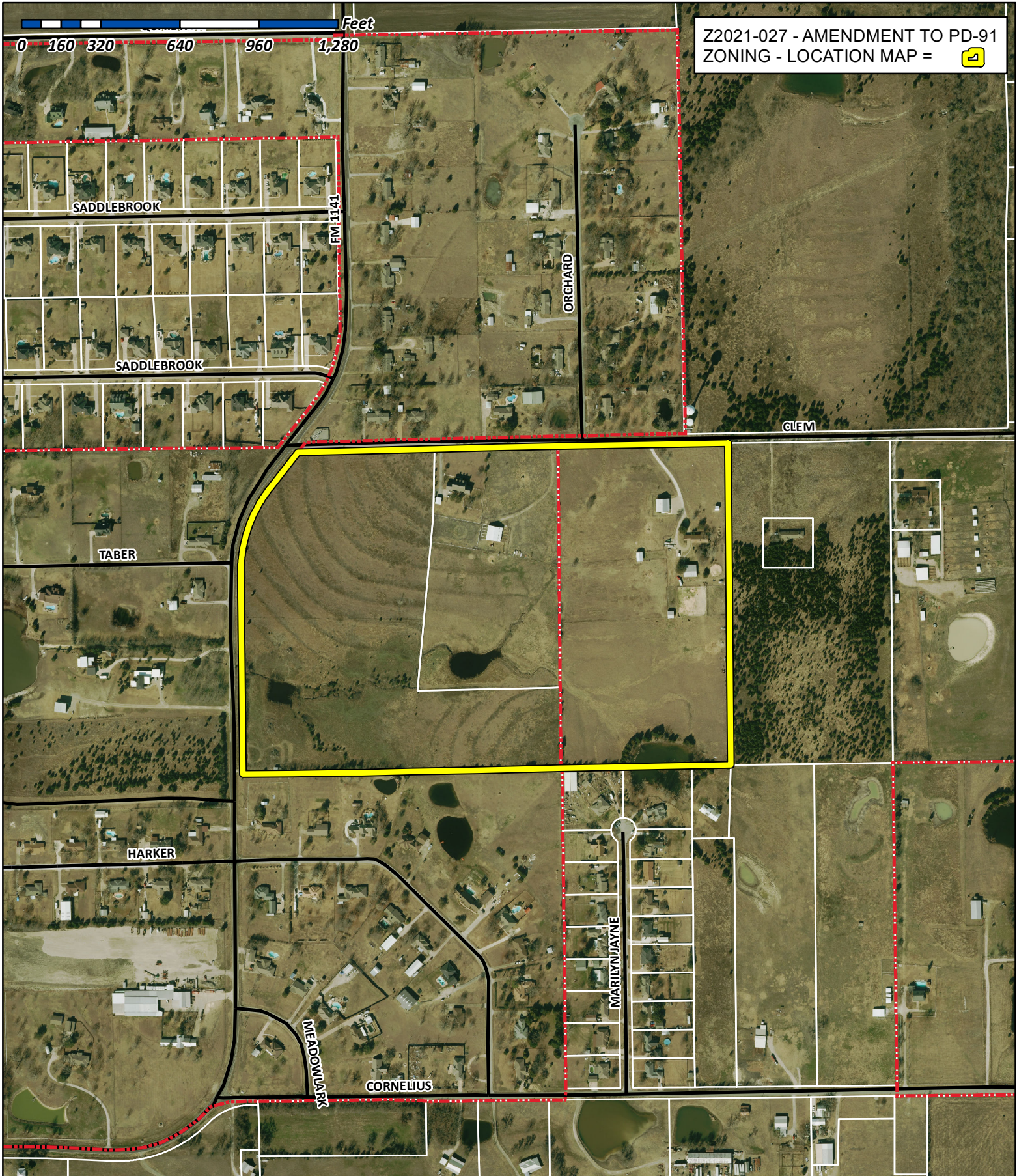
PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
CC: Mary Smith, *Interim City Manager*
Joey Boyd, *Assistant City Manager*
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: July 19, 2021
SUBJECT: Z2021-027; *Amendment to Planned Development District 91 (PD-91)*

On April 5, 2021, the City Council approved *Ordinance No. 21-17* establishing Planned Development District 91 (PD-91) for Single-Family 16 (SF-16) District land uses on a 38.012-acre tract of land (*i.e. Tract 17 & 17-01 of the W. M. Dalton Survey, Abstract No. 72*) located at the southeast corner of the intersection of FM-1141 and Clem Road. This Planned Development District allowed 56, 16,000 SF (*i.e. a minimum of 90' x ~178' or 160' x 100'*) residential lots and proposed a maximum density of 1.48 dwelling units per acre. In addition, the Planned Development District adhered to all of the requirements stipulated by the Unified Development Code (UDC) and was in conformance with the OURHometown Vision 2040 Comprehensive Plan.

In May 2021, Adam Buzcek of the Skorborg Co. submitted a request proposing a 212 Development Agreement on the adjacent property. This request proposed annexing the adjacent 20.83-acre tract of land (*i.e. Tract 22 of the W. M. Dalton Survey, Abstract No. 72*) and rezoning it to Planned Development District 91 (PD-91). Provided within the 212 Development Agreement was a Planned Development District ordinance and concept plan, which proposed adding an additional 42, 16,000 SF (*i.e. a minimum of 90' x ~178' or 160' x 100'*) residential lots (*for a total of 98 residential lots*) and increasing the overall density from 1.48 dwelling units per acre to 1.67 dwelling units per acre. After reviewing the request, staff reported to the City Council that the proposed additional lots did not change the conformance of Planned Development District 91 (PD-91) with regard to the OURHometown Vision 2040 Comprehensive Plan or any other applicable codes. It was also pointed out that the property was situated within the City's Extraterritorial Jurisdiction (ETJ) and was not subject to the City's zoning requirements. Based on this and in accordance with Subchapter C-3 of Chapter 43 and Section 212.172(b) of the Texas Local Government Code (TLGC), the City Council approved entering into the 212 Development Agreement on June 21, 2021 and the agreement was executed on June 24, 2021.

In accordance with this agreement, the property owners -- *Allen and Lisa Stevenson* -- submitted a request to annex the subject property and signed the Municipal Service Agreement on June 24, 2021. Based on this staff has initiated annexation and zoning proceedings under *Case No.'s A2021-004 and Z2021-027*. Staff should note that this property is being zoned in accordance with Section 212.172(b)(8), which states that the City Council has the authority to "...specify the uses and development of the land before and after annexation, if annexation is agreed to by the parties..." Based on this -- *and that a public hearing will be held for the annexation case* -- no additional public notices or public hearings were required for this zoning case. As a result, this case is an action item. Should the City Council have any questions staff and the City Attorney will be available at the July 19, 2021 City Council meeting.



Z2021-027 - AMENDMENT TO PD-91
 ZONING - LOCATION MAP = [icon]

Feet

0 160 320 640 960 1,280

SADDLEBROOK

SADDLEBROOK

FM 1141

ORCHARD

GLEM

TABER

HARKER

MEADOWMARK

CORNELIUS

MARILYN JAYNE

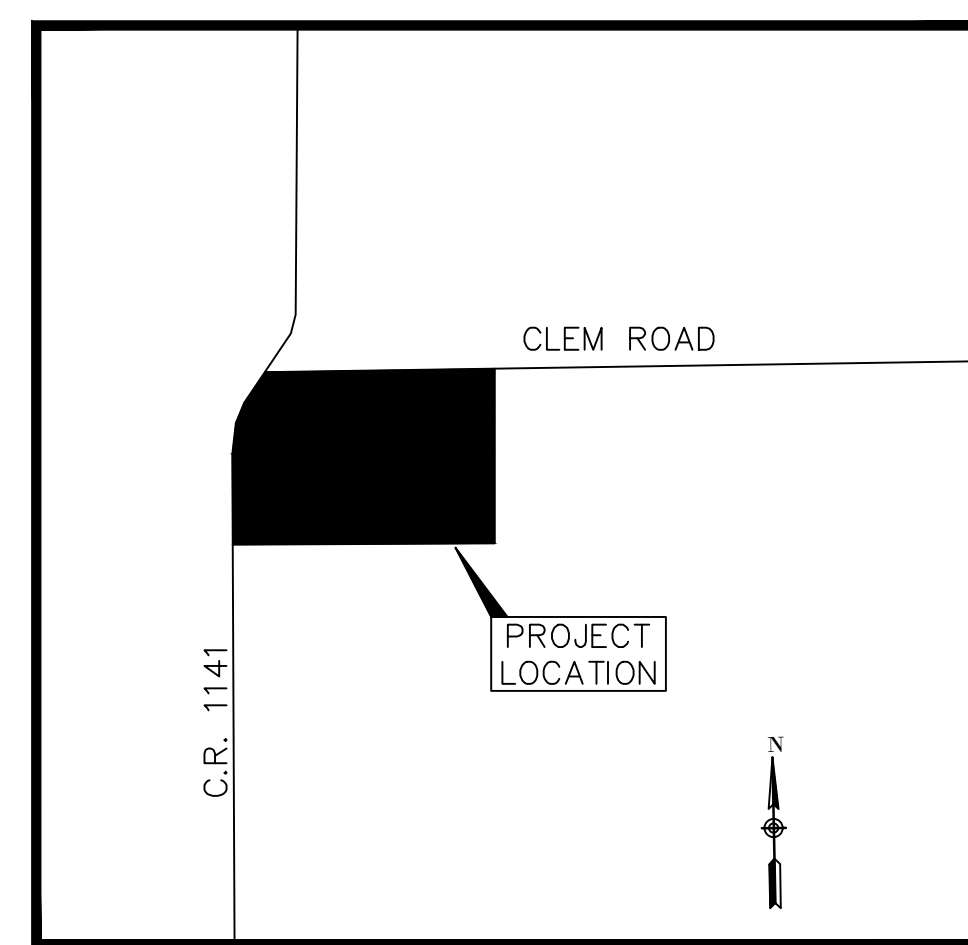


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

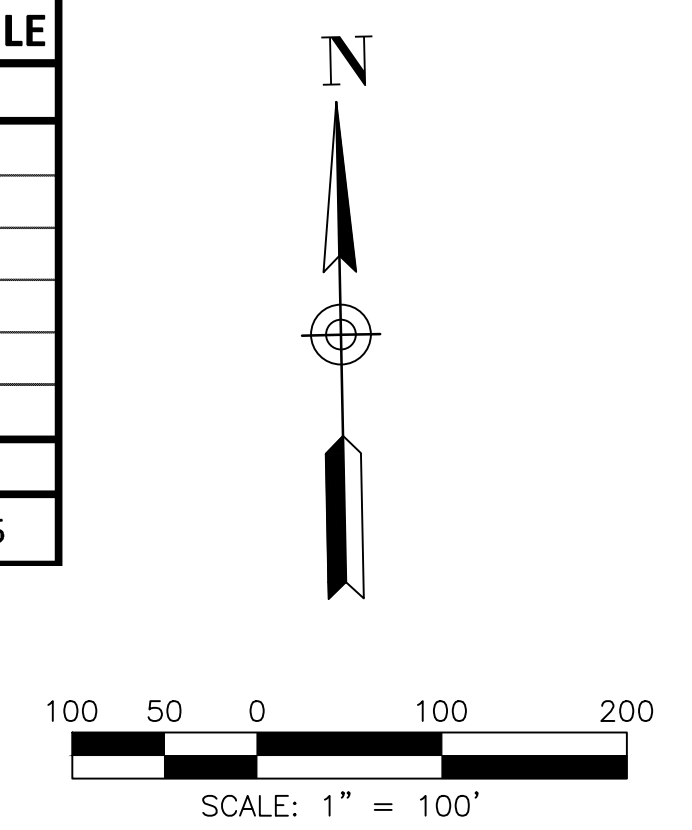
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LOCATION MAP
N.T.S.

HOA LOT	SF	AC
A	265179	6.08
B	63598	1.46
C	79715	1.83
D	125452	2.88
TOTAL		12.25



LEGEND

- 98 LOTS TOTAL
Min. Width = 90'
Min. Depth = 100'
Min. Square Feet = 16,000
- HOA MAINTAINED OPEN SPACE



NOTE:
THE MAXIMUM NUMBER OF RESIDENTIAL LOTS SHALL NOT EXCEED 98 LOTS.
ALL OPEN SPACE LOTS TO BE MAINTAINED BY THE PROPERTY OWNER/HOA.

TOTAL ACRES: 58.842
TOTAL OPEN SPACE: 12.25 (20.81%)
TOTAL RESIDENTIAL LOTS: 98
RESIDENTIAL DENSITY: 1.67

CONCEPT PLAN
OF
WINDING CREEK
SITUATED IN THE
WILLIAM DALTON SURVEY,
ABSTRACT NO. 72
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
PREPARED BY
MACATEE ENGINEERING, LLC
12655 N. CENTRAL EXPRESSWAY, SUITE 420
DALLAS, TEXAS 75243
214-373-1180
OWNER
REDDY K VASUNDHARA & ALEX R FREEMAN
OWNER
M G & J K TAYLOR LIVING TRUST
237 CLEM ROAD, ROCKWALL, TX 75087
OWNER
ALLEN G. STEVENSON & LISA M. STEVENSON

MAY 2021
SCALE: 1"=100'
CASE NO. Z2021-005

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT 91 (PD-91) FOR SINGLE-FAMILY 16 (SF-16) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 58.842-ACRE TRACT OF LAND IDENTIFIED AS TRACT 17, 17-01, & 22 OF THE W. M. DALTON SURVEY, ABSTRACT NO. 72, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Kevin Harrell of the Skorburg Co. on behalf of Mark Taylor, Alex Freeman and Allen and Lisa Stevenson for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 16 (SF-16) District land uses, on a 58.842-acre tract of land identified as Tract 17, 17-01, & 22 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] and Planned Development District 91 (PD-91) [*Ordinance No. 21-17*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 21-17*;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 6. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 6(b) through 6(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
- (c) *Master Parks and Open Space Plan.* A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat.* A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan.* A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks,

trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.

- (g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 7. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 8. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 9. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF AUGUST, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 19, 2021

2nd Reading: August 2, 2021

Exhibit 'A':
Legal Description

Tract 1 (+26.012-Acres)

All that certain lot, tract or parcel of land situated in the William Dalton Survey, Abstract No. 72, Rockwall County, Texas. Being a part of that certain tract of land conveyed to Glen D. Walker and wife, Nita A. Walker, recorded in *Volume 542, Page 12*, Real Property Records, Rockwall County, Texas, and being described by metes and bounds as follows:

BEGINNING at a 60D nail found for corner at the intersection near the center of Clem Road and the recognized southeast line of FM-1141, said point being the northwest corner of herein described tract;

THENCE North 89 Degrees 06 Minutes 09 Seconds East, within said Clem Road and the recognized north line of said *Walker Tract*, a distance of 533.77-feet to a point for corner, said point being the northeast corner of herein described tract and the northwest corner of a tract of land described in deed to Mark G. and Jessica K. Taylor, recorded in *Volume 7106, Page 191*, Official Public Records, Rockwall County, Texas;

THENCE South 01 Degrees 23 Minutes 21 Seconds West, along the west line of said *Taylor Tract*, passing a ½-inch iron rod found with yellow cap stamped *BG&A RPLS 5569* for witness at a distance of 17.18-feet and continuing for a total distance of 283.63-feet to a 4-inch metal fence corner for angle point;

THENCE South 05 Degrees 06 Minutes 43 Seconds West, along the west line of said *Taylor Tract*, a distance of 113.32-feet to a 4-inch metal fence corner for angle point;

THENCE South 05 Degrees 35 Minutes 13 Seconds West, along the west line of said *Taylor Tract*, a distance of 597.75-feet to a ½-inch iron rod found with yellow cap stamped *BG&A RPLS 5569* for corner, said point being an inner ell corner of herein described tract and the southwest corner of said *Taylor Tract*,

THENCE North 89 Degrees 06 Minutes 09 Seconds East, along the south line of said *Taylor Tract*, a distance of 574.09-feet to a ½-inch iron rod found with yellow cap stamped *BG&A RPLS 5569* for corner in the west line of a tract of land conveyed to Allen and Lisa Stevenson, recorded in *Volume 171, Page 885*, Real Property Records, Rockwall County, Texas, said point being the southeast corner of said *Taylor Tract* and the most southerly northeast corner of herein described tract;

THENCE South 00 Degrees 06 Minutes 20 Seconds East along the recognized east line of said *Walker Tract* and the west line of said *Stevenson Tract* a distance of 334.12-feet to a 3/8-inch iron rod found for corner, the apparent northeast corner of Lot 5 of Meadowview Ranch Estates, recorded in *Cabinet A, Slide 247*, Plat Records, Rockwall county, Texas, said point being the recognized southeast corner of said *Walker Tract* and the apparent southwest corner of said *Stevenson Tract*,

THENCE South 89 Degrees 13 Minutes 16 Seconds West, along the recognized south line of said *Walker Tract*, a distance 510.41-feet to a 3/8-inch iron rod found for angle point;

THENCE North 89 Degrees 58 Minutes 55 Seconds West, along the recognized south line of said *Walker Tract*, a distance of 778.67-feet to a ½-inch iron rod set with yellow cap stamped *BG&A RPLS 5569* for corner in the recognized east line of said FM-1141, said point being the southwest corner of herein described tract;

THENCE North, along the recognized east line of said highway, passing a 60D nail found on a wood highway monument for witness at a distance of 734.11-feet and continuing for a total distance of 810.94-feet to a ½-inch iron rod set with yellow cap stamped *BG&A RPLS 5569* at the beginning of a curve to right having a central angle of 39 Degrees 09 Minutes 01 Seconds, a radius of 533.14-feet and a chord bearing and distance of North 19 Degrees 34 Minutes 34 Seconds East - 357.25-feet;

THENCE along the recognized southeast line of said highway and said curve to the right an arc length of 364.29-feet to a ½-inch iron rod set with yellow cap stamped *BG&A RPLS 5569* at the end of said curve;

Exhibit 'A':
Legal Description

THENCE North 39 Degrees 09 Minutes 00 Seconds East along the recognized southeast line of said highway, a distance of 215.67-feet to the place of beginning and containing 1,133,124.22 square-feet or 26.012-acres of land.

Tract 2 (±12.0-Acres)

All that certain lot, tract or parcel of land situated in the William Dalton Survey, Abstract No. 72, Rockwall County, Texas, being a part of that certain tract of land conveyed to Glen D. Walker and wife, Nita A. Walker, recorded in *Volume 542, Page 12*, Real Property Records, Rockwall County, Texas, and being described by metes and bounds as follows:

BEGINNING at a point for corner near the center of Clem Road, said point being the northeast corner of said *Walker Tract* and the northwest corner of a tract of land conveyed to Allen and Lisa Stevenson, recorded in *Volume 171, Page 885*, Real Property Records, Rockwall County, Texas, from which a ½-inch iron rod found for witness bears South 00 Degrees 06 Minutes 20 Seconds East - 17.25-feet;

THENCE South 00 Degrees 06 Minutes 20 Seconds East along the east line of said *Walker Tract* and the west line of said *Stevenson Tract* a distance of 990.13-feet to a ½-inch iron rod set with yellow cap stamped *BG&A RPLS 5569* for corner;

THENCE South 89 Degrees 06 Minutes 09 Seconds West a distance 574.09-feet to a ½-inch iron rod set with yellow cap stamped *BG&A RPLS 5569* for corner;

THENCE North 05 Degrees 35 Minutes 13 Seconds East a distance of 597.75-feet to a 4-inch metal fence corner for angle point;

THENCE North 05 Degrees 06 Minutes 43 Seconds East a distance of 113.32-feet to a 4-inch metal fence corner for angle point;

THENCE North 01 Degrees 23 Minutes 21 Seconds East a distance of 283.63-feet to a point for corner in the north line of said *Walker Tract*, said point being near the center of Clem Road from which a ½-inch iron set with yellow cap stamped *BG&A RPLS 5569* for witness bears South 01 Degrees 23 Minutes 21 Seconds West - 17.18-feet;

THENCE North 89 Degrees 06 Minutes 09 Seconds East along the north line of said *Walker Tract* and within said Clem Road a distance of 497.09-feet to the *PLACE OF BEGINNING* and containing 522,720.00 square-feet or 12.000-acres of land.

Exhibit 'A':
Legal Description

Tract 3 (±20.83-Acres)

BEING a tract or parcel of Land situated in the William Dalton Survey, Abstract No. 72, Rockwall County, Texas, and being part of an 80-acre tract conveyed to E. L. Adams by T. H. Adams, by deed recorded in *Volume 11, Page 475, Deed Records* of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at an iron rod in a County Road and at the Northwest corner of the above-mentioned 80-acre tract;

THENCE North 89 deg. 50 min. 30 sec. East, a distance of 684.33 feet along said Country Road to an iron rod for a corner, said iron rod bears South 89 deg. 50 min. 30 sec. West, a distance of 661.40 feet from the Northeast Corner of said 80-acre tract;

THENCE South 0 deg. 16 min. 03 sec. East, a distance of 1319.86 feet traversing said 80-acre tract to an iron rod for a corner;

THENCE South 89 deg. 22 min. 53 sec. West, a distance of 687.71 feet to an iron rod for a corner on the West line of said 80-acre tract and at the Northeast corner of Meadowview Ranch Estates, an addition to the County of Rockwall;

THENCE North 0 deg. 07 min. 17 sec. West, a distance of 1325.38 feet along the West line of said 80-acre tract to the *POINT OF BEGINNING* and containing 20.83-acres of land.

Exhibit 'B':
Location Map

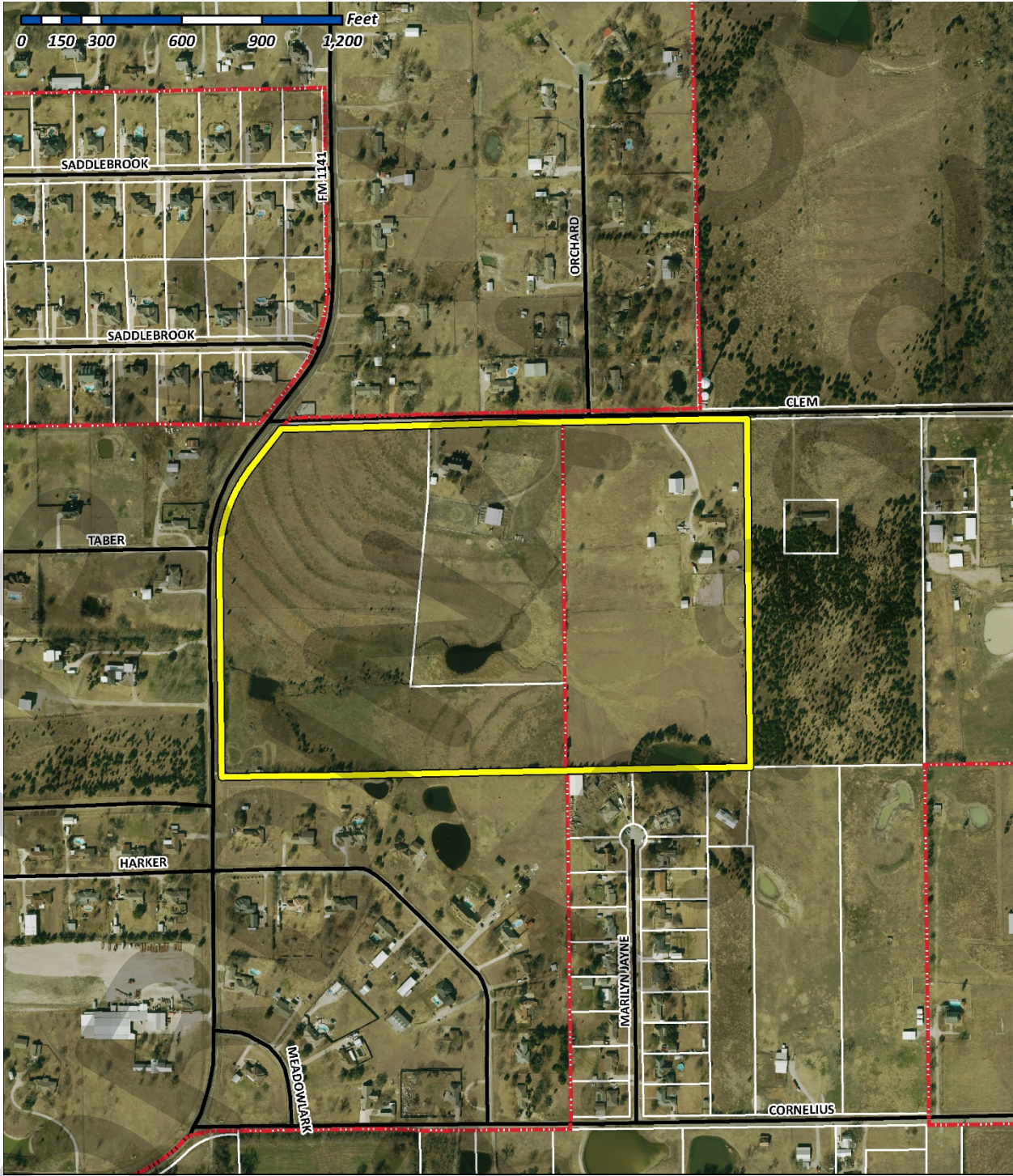


Exhibit 'D':
Density and Development Standards

Density and Development Standards.

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 16 (SF-16) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* of this ordinance.
- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 16 (SF-16) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 1.67 dwelling units per gross acre of land; however, in no case should the proposed development exceed 98 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

Minimum Lot Width ⁽¹⁾	90'
Minimum Lot Depth	100'
Minimum Lot Area	16,000 SF
Minimum Front Yard Setback ^{(2) & (5)}	25'
Minimum Side Yard Setback	8'
Minimum Side Yard Setback (Adjacent to a Street) ^{(2) & (5)}	10'
Minimum Length of Driveway Pavement	25'
Maximum Height ⁽³⁾	36'
Minimum Rear Yard Setback ⁽⁴⁾	10'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space] ⁽⁶⁾	3,000 SF
Maximum Lot Coverage	60%

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- ⁶: A maximum of ten (10) percent of the lots may have a minimum area/dwelling unit of 2,800 SF [Air-Conditioned Space].

- (4) Building Standards. All development shall adhere to the following building standards:
 - (a) Masonry Requirement. The minimum masonry requirement for the total exterior façade area of all buildings shall be 90% (*excluding dormers and walls over roof areas*); however, no individual façade shall be less than 85% masonry. For the

Exhibit 'D':
Density and Development Standards

purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) may be used for up to 50% of the masonry requirement; however, stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted through a Specific Use Permit (SUP) only. Excluding dormers and walls over roof areas, siding products (e.g. *HardiBoard* or *Hardy Plank*) shall not be visible on homes abutting any major thoroughfare (i.e. *FM-1141* as shown on *Exhibit 'C'* of this ordinance).

- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. Garages shall be oriented in a *traditional swing* (or *j-swing*) (i.e. where the two (2) car garage is situated facing the side property line and the driveway swings into the garage in a 'J' configuration). On *traditional swing* (or *j-swing*) garage configurations, a second single or double garage door facing the street is permitted if it is located behind the width of the double garage door. All garage configurations not conforming to this section shall meet the requirements of Article 09, *Parking and Loading*, of the Unified Development Code (UDC).

All garage doors shall be required to have decorative wood doors or wood overlays on insulated metal doors. The design between the garage door and home shall use the same or complementary colors and materials. All garages shall include carriage style hardware. An example of carriage style hardware is depicted in *Figure 1*.

Figure 1. Examples of Enhanced Garage Door



- (5) Anti-Monotony Restrictions. The development shall adhere to the following *Anti-Monotony* standards:

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of

Exhibit 'D':
Density and Development Standards

differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.

(b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, FM-1141, or Clem Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:

- (1) Number of Stories
- (2) Permitted Encroachment Type and Layout
- (3) Roof Type and Layout
- (4) Articulation of the Front Façade

(c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.

(d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 3: Properties line up on the opposite side of the street. Where **RED** is the subject property.



Figure 4: Properties do not line up on opposite side of the street. Where **RED** is the subject property.

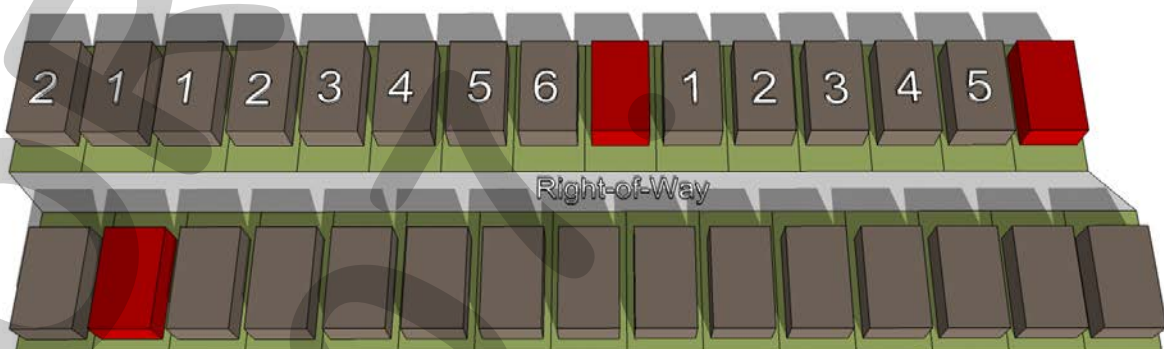


Exhibit 'D':
Density and Development Standards

- (6) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Front Yard Fences. Front yard fences shall be prohibited.
 - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
 - (c) Wrought Iron/Tubular Steel. Lots located along the perimeter of roadways (*i.e. FM-1141 and Clem Road*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
 - (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
 - (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
- (7) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs'] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
 - (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (1) Landscape Buffer and Sidewalks (FM-1141). A minimum of a 30-foot landscape buffer shall be provided along FM-1141 (*outside of and beyond any*

Exhibit 'D':

Density and Development Standards

required right-of-way dedication), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering six (6) foot sidewalk shall be constructed within the 30-foot landscape buffer.

- (2) Landscape Buffers (Clem Road). A minimum of a 30-foot landscape buffer shall be provided along Clem Drive (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering five (5) foot sidewalk shall be constructed within the 30-foot landscape buffer.
- (3) Landscape Buffers (Southern Property Line). A minimum of a 10-foot landscape buffer shall be incorporated at the rear of the residential lots that back to the southern property line of the subject property. This landscape buffer shall incorporate a solid living screen utilizing evergreen trees -- *either Eastern Red Cedar or Leland Cypress unless approved otherwise approved by the Director of Planning and Zoning --*, a minimum of four (4) caliper inches in size, that will be planted on 20-foot centers.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
- (d) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (e) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Street. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the

Exhibit 'D':
Density and Development Standards

perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

- (12) Open Space. The development shall consist of a minimum of 20% open space (or a minimum of 11.77 -acres -- as calculated by the formula stipulated in the *Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. All open space areas (including *landscape buffers*) shall be maintained by the Homeowner's Association (HOA).
- (13) Trails. A concrete trail system shall be constructed in generally the same areas and of the same sizes as what is depicted in *Exhibit 'C'* of this ordinance.
- (14) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (15) Homeowner's Association (HOA). A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (including *drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development.
- (16) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.



MEMORANDUM

TO: Mary Smith, Interim City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: July 19, 2021

SUBJECT: RELEASE OF THE CITY'S EXTRATERRITORIAL JURISDICTION IN COLLIN COUNTY

Attachments

Memorandum

Map of the Extraterritorial Jurisdiction (ETJ)

Draft Ordinance

Summary/Background Information

Discuss and consider approval of an ordinance reducing the City's Extraterritorial Jurisdiction (ETJ) by releasing a 3,475.20-acre tract of land generally located north of the boundary between Rockwall County and Collin County, and take any action necessary (1st Reading).

Action Needed

The City Council is being asked to consider an ordinance releasing all of the City's Extraterritorial Jurisdiction (ETJ) in Collin County.



CITY OF ROCKWALL

CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

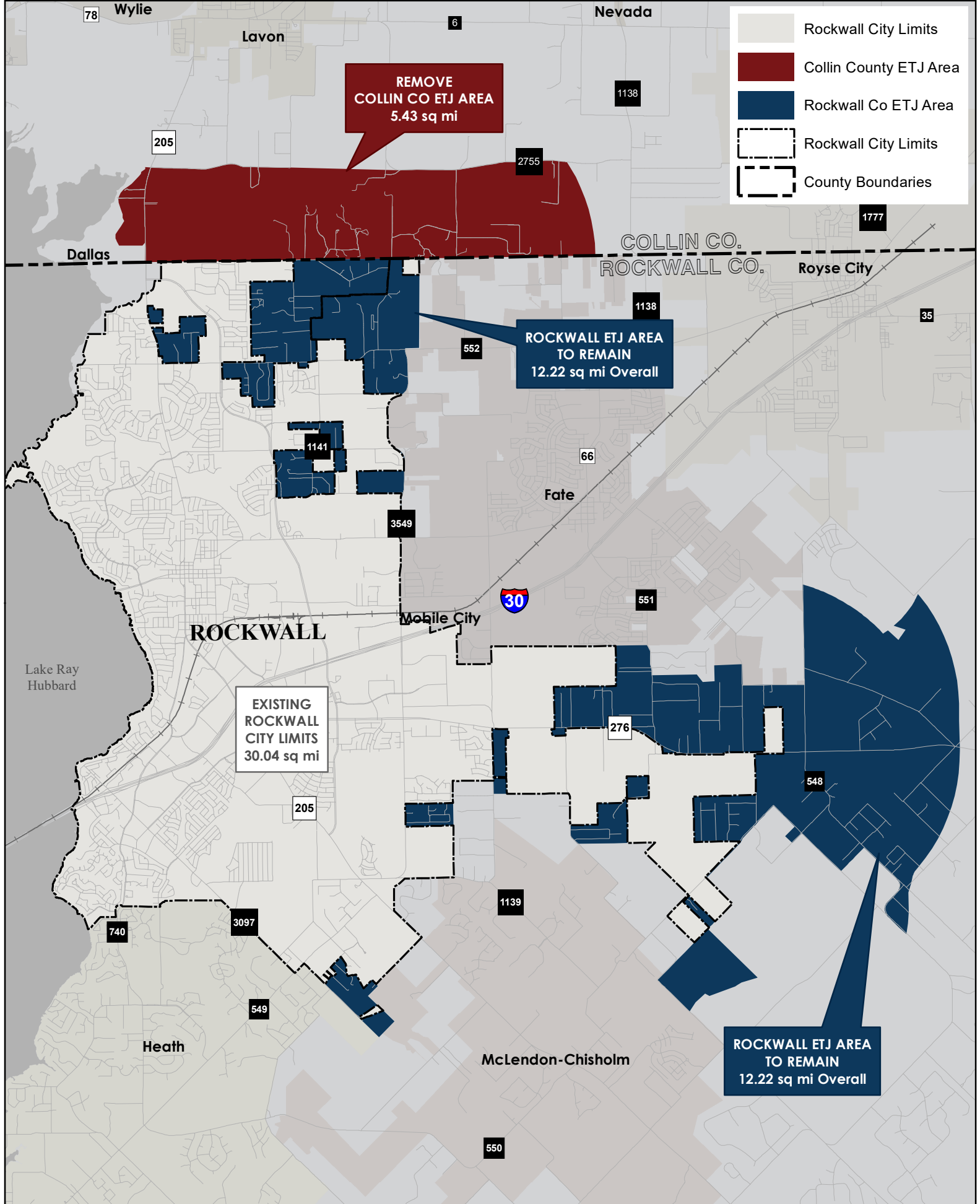
CC: Mary Smith, *Interim City Manager*
Joey Boyd, *Assistant City Manager*

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: July 19, 2021

SUBJECT: Release of the City's Extraterritorial Jurisdiction in Collin County

On July 6, 2021, the City Council directed staff to prepare an ordinance that would reduce the City's Extraterritorial Jurisdiction (ETJ) in Collin County. Specifically, the ordinance would release all 3,475.20-acres of land within the City's Extraterritorial Jurisdiction (ETJ) in Collin County. According to Section 42.023, *Reduction of Extraterritorial Jurisdiction*, of Chapter 42, *Extraterritorial Jurisdiction of Municipalities*, of the Texas Local Government Code, "(t)he extraterritorial jurisdiction of a municipality may not be reduced unless the governing body of the municipality gives its written consent by ordinance or resolution ...". In the attached packet, staff has provided an ordinance which will make the necessary adjustments requested by the City Council. If approved this would reduce the City's Extraterritorial Jurisdiction (ETJ) from 11,296.00-acres to 7,820.80-acres, and would make it so that all of the City's ETJ is situated within Rockwall County. Should the City Council have any questions concerning this case, staff and the City Attorney will be at the meeting on July 19, 2021.



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, REDUCING ITS EXTRATERRITORIAL JURISDICTION (ETJ) BY RELEASING SUCH TERRITORY DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE TO THE COUNTY OF COLLIN; ESTABLISHING THE NEW CORPORATE BOUNDARIES OF THE CITY OF ROCKWALL; PROVIDING FOR AMENDING AND CORRECTING THE OFFICIAL CORPORATE AND EXTRATERRITORIAL BOUNDARIES OF THE CITY AS HERETOFORE ADOPTED AND CORRECTING THE OFFICIAL CITY MAPS; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, in accordance with Section 42.023, *Reduction of Extraterritorial Jurisdiction*, of Chapter 42, *Extraterritorial Jurisdiction of Municipalities*, of the Texas Local Government Code the City Council of the City of Rockwall desires to release all portions of its Extraterritorial Jurisdiction (ETJ) situated within Collin County;

BEING, a 3,475.20-acre tract of land, situated within Collin County and which is more fully depicted in *Exhibit 'A'* of this *Ordinance*, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and,

WHEREAS, the *Subject Property* lies within the City of Rockwall's Extraterritorial Jurisdiction (ETJ) and is adjacent to and adjoining with the present corporate boundaries of the City of Rockwall, Rockwall County, Texas.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. INCORPORATION OF PREMISES. The above and foregoing premises are true and correct and are incorporated herein and made a part hereof for all purposes

SECTION 2. REDUCTION OF ETJ AND RELEASE TO ROCKWALL COUNTY. The City of Rockwall hereby reduces its Extraterritorial Jurisdiction (ETJ) and releases to Collin County the *Subject Property*.

SECTION 3. FILING, NOTIFICATION, AND CORRECTION OF CITY MAPS. The Mayor of the City of Rockwall is hereby directed and authorized to file a certified copy of this *Ordinance* with the necessary governmental agencies, and to update the official map of the City's corporate and Extraterritorial Jurisdiction (ETJ) boundaries as depicted in *Exhibit 'A'* of this *Ordinance*.

SECTION 4. SAVINGS. This *Ordinance* shall be cumulative of all other ordinances of the City, and shall not repeal any of the provisions of those ordinances except in those instances where the provisions of those ordinances are in direct conflict with the provisions of this *Ordinance*.

SECTION 5. SEVERABILITY. The sections, paragraphs, sentences, phrases, and words of this *Ordinance* are severable, and if any section or provision of this *Ordinance* or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason adjudged by a trial court of competent jurisdiction to be illegal or unconstitutional, the adjudication shall not affect any other section or provision of this *Ordinance* or the application of

any other section or provision to any person, firm, corporation, situation or circumstance, and the City Council hereby declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the valid provisions of this *Ordinance* shall remain in full force and effect.

SECTION 7. REPEALER. All ordinances of the City of Rockwall in conflict with the provisions of this *Ordinance* be and the same are hereby repealed to the extent of that conflict.

SECTION 8. EFFECTIVE DATE. This *Ordinance* shall take effect immediately from and after its passage and approval, in accordance with applicable law and the charter of the City of Rockwall, Texas.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF AUGUST, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

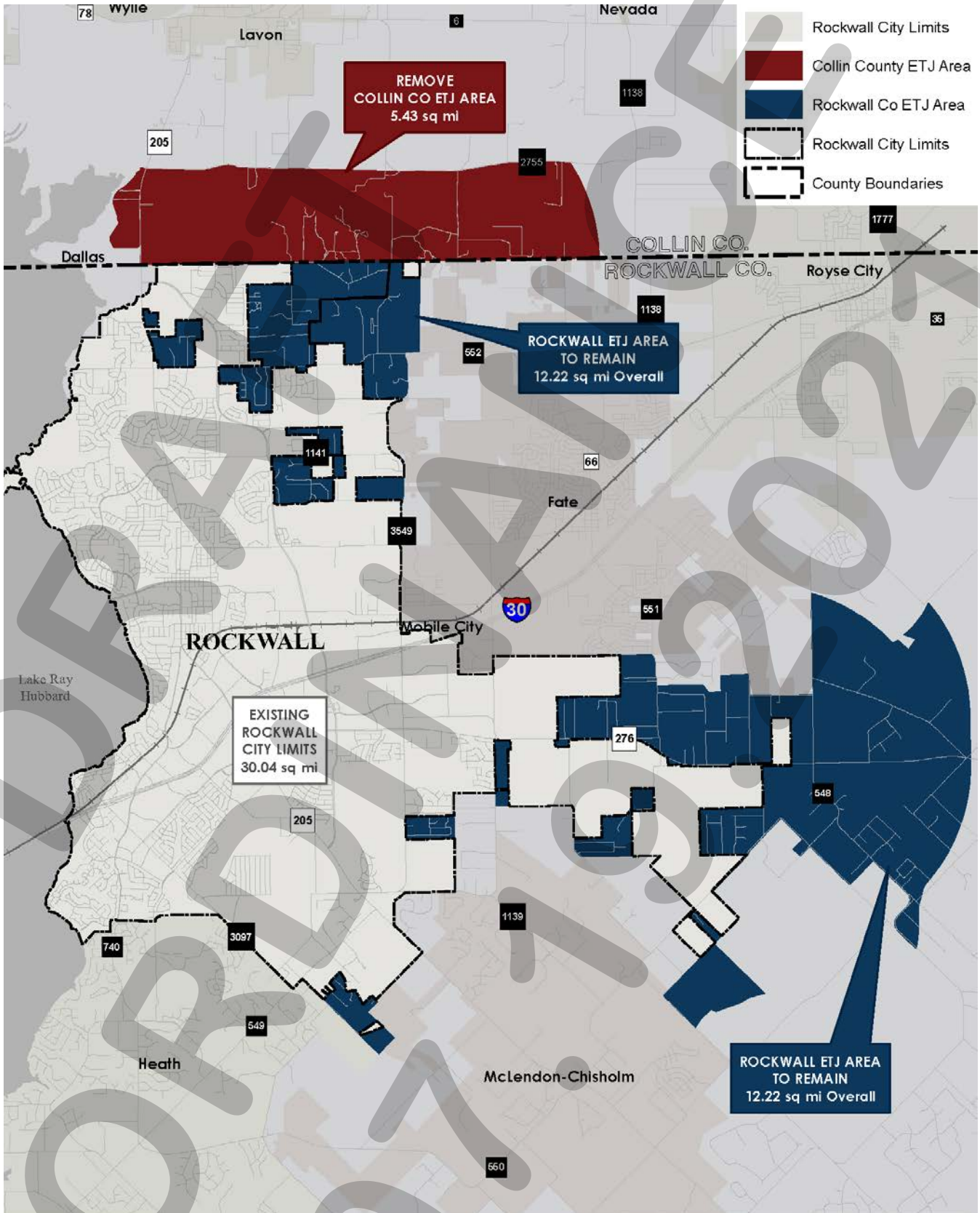
APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 19, 2021

2nd Reading: August 2, 2021

Exhibit 'A'
Extraterritorial Jurisdiction (ETJ) of the City Rockwall





City of Rockwall
The New Horizon


MEMORANDUM

TO: Honorable Mayor & City Council Members
FROM: Kristy Cole, City Secretary / Assistant to the City Manager
DATE: July 14, 2021
SUBJECT: (Re)Appointments to HPAB, ART Commission & CPAC

Mayor Pro Tem Hohenshelt is the liaison for HPAB. The following table shows in yellow the status of those needing reappointment and the one, upcoming vacancy (Mrs. Francisco is ‘terming out’).

Historic Preservation Advisory Board	FIRST NAME	LAST NAME	Appointed/ Re-Appointed	CURRENT 2 YR. TERM EXPIRES
Interested Citizen	Tiffany	Miller	July 20,2020	Aug. 2022
Property Owner in Downtown Area	Alma	McClintock	Sept.2020	Aug. 2022
Historic Foundation Member	Carolyn	Francisco	Aug.4,2014 (partial term) Sept. 8,2015 Sept. 5,2017 Oct.21,2019	Aug. 2021 *
Interested Citizen	Sarah	Freed	Sept.2020 Feb.2,2016 Sept.5,2017	Aug. 2021
Interested Citizen	Jay	Odom	Oct.21,2019	Aug.2021
	Brad	Adams	Oct.21,2019	Aug.2021
Interested Citizen	Beverly	Bowlin	Feb.2,2016 July 18,2016 July 2,2018 July 20,2020	Aug. 2022 * * Will Term Out

Mrs. Hall may be considered to replace Mrs. Francisco, as she is a member of the Historic Foundation. Her application is as follows:

 Boards & Commissions
NAME & ADDRESS Marci Hall 601 N. Fannin St. Rockwall, TX 75087
VOTER REGISTRATION Registered Voter: Yes Voter Registration Number: 1081680322
PERSONAL DETAILS I have lived in Rockwall for about 15 years, having moved here from East Dallas. I have a son who just graduated from Rockwall High School. I am currently the Assistant Curator at the Rockwall County Historical Foundation's museum. Prior to that I was a stay at home mom who volunteered for the PTA. Before moving to Rockwall to raise our son, I worked as the Administrative Assistant of the Dance Office in Meadows School of the Arts at SMU. I've always loved history and we live in one of the historic homes in Old Town Rockwall. It is a neighborhood we enjoy very much.
BOARDS & COMMISSIONS Interested in Special Committee or Projects? No Historic Preservation Advisory Board (HPAB)
ART COMMISSION None of these
MAIN STREET BOARD None of these

Councilmember Macalik is the liaison to the ART Commission. Mrs. Morrow is 'terming out' next month. I believe Councilmember Macalik would like to recommend Ashlei Neill to replace Mrs. Morrow. Mrs. Neill has been serving for the last 6 years on the city's Architectural Review Board but is 'terming out' on that particular board next month.

Art Review Team Commission	<u>FIRST</u>	<u>LAST</u>	<u>Appointed / ReAppt'd.</u>	<u>CURRENT 2 YR. TERM EXPIRES</u>
interested citizen	Chris	Kosterman	Oct. 19, 2020 (partial term) July 6, 2021	Aug. 2023
interested citizen	Kathleen	Morrow	Jan. 1, 2015 (partial term) Aug. 2015 (1st full term) Aug. 8, 2017 Aug. 19, 2019	Aug. 2021*
interested citizen	Ginger	Womble	Dec. 7, 2020	Aug. 2022
interested citizen	Susan	Guzman	April 19, 2021	Aug. 2023
interested citizen	Bonnie	Lankford	April 19, 2021	Aug. 2022
				*is termed out

Councilmember Campbell has indicated that she would like to add Mr. Richard Henson as a member of the city's Comprehensive Plan Advisory Committee (CPAC).